

ORDINANCE NO. 2421-25

AN ORDINANCE GRANTING AN AMENDMENT TO A SPECIAL USE AND SPECIAL USE PLANNED UNIT DEVELOPMENT AND APPROVAL OF ARCHITECTURAL PLANS AND ELEVATIONS IN CONNECTION WITH CERTAIN TOWNHOME PARCELS LOCATED IN PHASES 1 AND 2 OF THE HAWTHORN WOODS COUNTRY CLUB SUBDIVISION – MI HOMES

WHEREAS, on or about August 19, 2024, MI Homes, as applicant (“Applicant”), filed an application for an amendment to a Special Use and Special Use Planned Unit Development and approval of Architectural Plans and Elevations in connection with certain townhome parcels located in Phases 1 and 2 of the Hawthorn Woods Country Club Subdivision on the property legally described on **Exhibit "A"** attached hereto and incorporated herein (the "SUBJECT REALTY"); and,

WHEREAS, Notice of Public Hearing with respect to the special use permit was published on or about December 20, 2024, in the Daily Herald, being a newspaper having general circulation within the Village of Hawthorn Woods, all as required by the statutes of the State of Illinois and the ordinances of the Village, and,

WHEREAS, all other notices required by the statutes of the State of Illinois and the ordinances of the Village have been given; and,

WHEREAS, pursuant to said Notice, the Planning, Building, and Zoning Commission of the Village of Hawthorn Woods conducted a Public Hearing regarding the special use permit on or about January 14, 2025, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, the Planning, Building, and Zoning Commission forwarded its recommendations, to the Mayor and Board of Trustees on or about January 14, 2025, and,

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Hawthorn Woods, Lake County, Illinois, as follows:

SECTION ONE: That approval is hereby granted for an amendment to the special use permit for the townhome units in Phase 1 and Phase 2 as set forth on the plans and materials submitted with the application prepared by Manhard Consulting, Ltd. and Gary R. Weber Associates, Inc. and approval of Architectural Plans and Elevations, attached hereto as **Exhibit "B"**, subject to the following conditions:

1. That additional landscaping be implemented on the south of building 801-1 thru 801-3, located on Harborside Way, if feasible, and reviewed and approved by the Community Development Director.

SECTION TWO: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of the Ordinance are, to the extent of such conflict, expressly superseded.

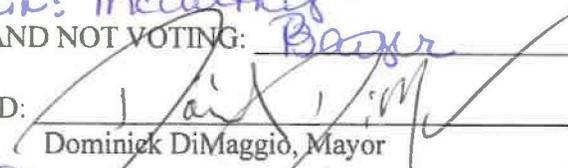
SECTION THREE: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

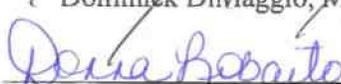
The foregoing Ordinance was passed by a roll call vote as follows:

AYES: Kaiser, Raman, Reczek, Hurst

NAYS: 0

Abstain: McCarthy
ABSENT AND NOT VOTING: Bauer

APPROVED: 
Dominick DiMaggio, Mayor

ATTEST: 
Donna Lobaito, Village Clerk

PASSED: January 29, 2025

APPROVED: January 27, 2025

EXHIBIT "A"

LEGAL DESCRIPTION

MI Homes Townhome Lots in Phase 1:

LOTS 590, 591 & 592 IN HAWTHORN WOODS COUNTRY CLUB PHASE 1, BEING A SUBDIVISION IN PART OF SECTIONS 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT THEREOF RECORDED JULY 30, 2004 AS DOCUMENT NUMBER 5613059 AND CORRECTED BY CERTIFICATE OF CORRECTIONS RECORDED AS DOCUMENT NUMBER 5662935 AND 5702346 IN LAKE COUNTY, ILLINOIS.

MI Homes Townhome Lots in Phase 2:

LOTS 492, 493, 494 & 495 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH , RANGE 10, AND PART OF SECTIONS 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT RECORDED ON JUNE 23, 2005 AS DOCUMENT NUMBER 5804408 IN LAKE COUNTY, ILLINOIS.

LOTS 522, 523, 524 & 525 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH , RANGE 10, AND PART OF SECTIONS 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT RECORDED ON JUNE 23, 2005 AS DOCUMENT NUMBER 5804408 IN LAKE COUNTY, ILLINOIS.

LOTS 526, 527, & 528 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH , RANGE 10, AND PART OF SECTIONS 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT RECORDED ON JUNE 23, 2005 AS DOCUMENT NUMBER 5804408 IN LAKE COUNTY, ILLINOIS.

LOTS 529, 530, & 531 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH , RANGE 10, AND PART OF SECTIONS 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 34, TOWNSHIP 44 NORTH,

RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT RECORDED ON JUNE 23, 2005 AS DOCUMENT NUMBER 5804408 IN LAKE COUNTY, ILLINOIS.

LOTS 532, 533, 534 & 535 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH , RANGE 10, AND PART OF SECTIONS 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT RECORDED ON JUNE 23, 2005 AS DOCUMENT NUMBER 5804408 IN LAKE COUNTY, ILLINOIS.

EXHIBIT "B"

PROPOSED IMPROVEMENTS FOR HAWTHORN WOOD COUNTRY CLUB TOWNHOMES UNITS 1-15 VILLAGE OF HAWTHORN WOODS, ILLINOIS

STANDARD SYMBOLS	
EXISTING	PROPOSED
1. 1" x 1" x 1" (Symbol)	1. 1" x 1" x 1" (Symbol)
2. 1" x 1" x 1" (Symbol)	2. 1" x 1" x 1" (Symbol)
3. 1" x 1" x 1" (Symbol)	3. 1" x 1" x 1" (Symbol)
4. 1" x 1" x 1" (Symbol)	4. 1" x 1" x 1" (Symbol)
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18. 1" x 1" x 1" (Symbol)	18. 1" x 1" x 1" (Symbol)
19. 1" x 1" x 1" (Symbol)	19. 1" x 1" x 1" (Symbol)



INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS - PHASE 1
3	EXISTING CONDITIONS - PHASE 2
4	SITE PLAN - PHASE 1
5	SITE PLAN - PHASE 2
6	GRADING PLAN - PHASE 1
7	GRADING PLAN - PHASE 2
8	UTILITY PLAN - PHASE 1
9	UTILITY PLAN - PHASE 2
10	SOIL EROSION & SEDIMENT CONTROL PLAN
11	SOIL EROSION & SEDIMENT CONTROL DETAILS
12	CONSTRUCTION DETAILS
13	AQUA CONSTRUCTION DETAILS - WATER
14	AQUA CONSTRUCTION DETAILS - SANITARY
15	AQUA CONSTRUCTION SPECIFICATIONS

ABBREVIATIONS	
1. 1" x 1" x 1" (Symbol)	1. 1" x 1" x 1" (Symbol)
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OWNER: M/I HOMES
ADDRESS: 3135 CITY GATE LAKE
CITY: WAPORVILLE, IL 60583
PH: (830) 377-3208

PROJECT DATA	
DATE: 10/15/2010	PROJECT: HAWTHORN WOOD COUNTRY CLUB TOWNHOMES UNITS 1-15
CLIENT: M/I HOMES	DESIGNER: MANHARD CONSULTING
PROJECT LOCATION: 3135 CITY GATE LAKE, WAPORVILLE, IL 60583	SCALE: AS SHOWN
DATE: 10/15/2010	PROJECT: HAWTHORN WOOD COUNTRY CLUB TOWNHOMES UNITS 1-15
CLIENT: M/I HOMES	DESIGNER: MANHARD CONSULTING
PROJECT LOCATION: 3135 CITY GATE LAKE, WAPORVILLE, IL 60583	SCALE: AS SHOWN

BENCHMARKS	
Benchmark 01 ELEVATION: 120.00 DESCRIPTION: 1" x 1" x 1" (Symbol)	Benchmark 02 ELEVATION: 120.00 DESCRIPTION: 1" x 1" x 1" (Symbol)
Benchmark 03 ELEVATION: 120.00 DESCRIPTION: 1" x 1" x 1" (Symbol)	Benchmark 04 ELEVATION: 120.00 DESCRIPTION: 1" x 1" x 1" (Symbol)
Benchmark 05 ELEVATION: 120.00 DESCRIPTION: 1" x 1" x 1" (Symbol)	Benchmark 06 ELEVATION: 120.00 DESCRIPTION: 1" x 1" x 1" (Symbol)
Benchmark 07 ELEVATION: 120.00 DESCRIPTION: 1" x 1" x 1" (Symbol)	Benchmark 08 ELEVATION: 120.00 DESCRIPTION: 1" x 1" x 1" (Symbol)
Benchmark 09 ELEVATION: 120.00 DESCRIPTION: 1" x 1" x 1" (Symbol)	Benchmark 10 ELEVATION: 120.00 DESCRIPTION: 1" x 1" x 1" (Symbol)

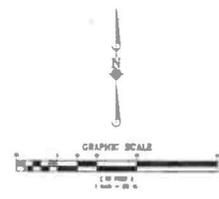
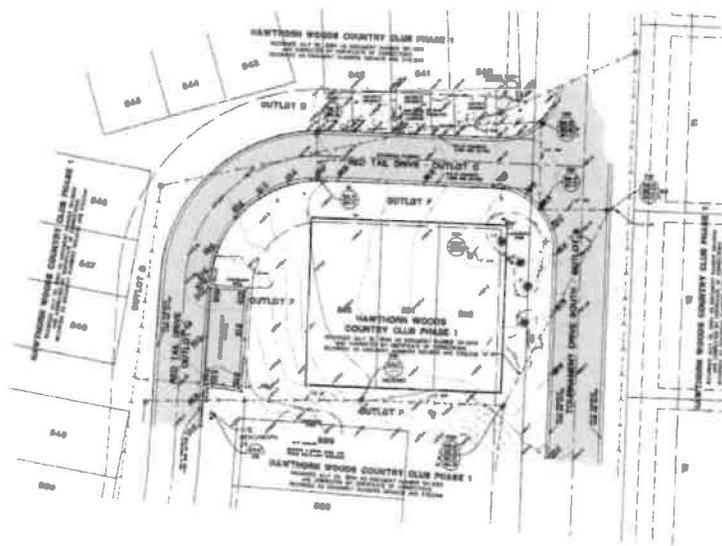
MANHARD CONSULTING, LTD. IS NOT RESPONSIBLE FOR THE SAFETY OF ANY PARTY AS TO OR ON THE CONSTRUCTION OF THIS SHEET. THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ANY OTHER PERSON OR ENTITY PARTICIPATING WITH OR WITHOUT MANHARD CONSULTING SHALL REMAIN FOR THE SAFETY OF THE WORK AND THE SAFETY OF PERSONS ENGAGED IN THE WORK ON THE BEHALF OF CONTRACTOR OR SUBCONTRACTOR.

THE BOUNDARY LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A FIELD SURVEY COMPLETED BY MANHARD CONSULTING, LTD. ON AUGUST 18, 2010. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY MANHARD CONSULTING AND THE CLIENT IN WRITING OF ANY DIFFERENCES.



HAWTHORN WOOD COUNTRY CLUB TOWNHOMES UNITS 1-15
VILLAGE OF HAWTHORN WOODS, ILLINOIS
TITLE SHEET

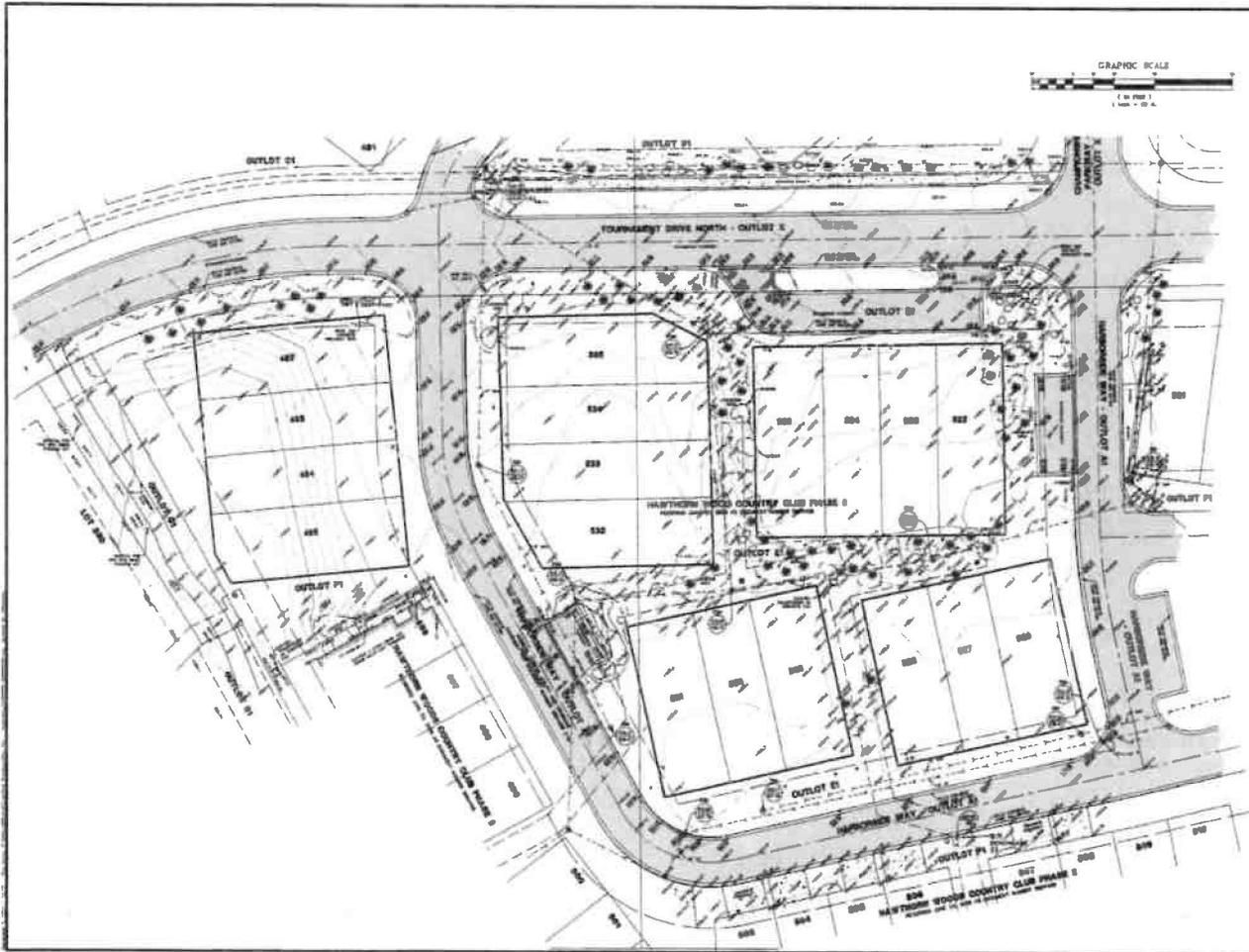
1-15



Manhard
CONSULTANTS

HAWTHORN WOODS COUNTRY CLUB TERRACES UNITS 1-15
VILLAGE OF HAWTHORN WOODS, ILLINOIS
EXISTING CONDITIONS - PHASE 1

2-15



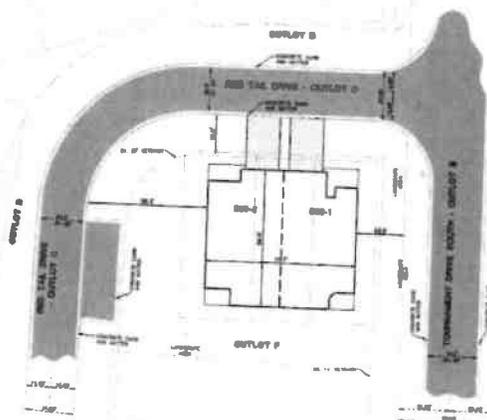
GRAPHIC SCALE
1" = 100'
1" = 100'

N

Manhard
CORPORATION

HAWTHORN WOOD COUNTRY CLUB TERRACES UNITS 1-15
VILLAGE OF HAWTHORN WOOD, ILLINOIS
EXISTING CONDITIONS - PHASE 2

3-15



LOT COVERAGE / IMPERVIOUS AREA TABLE

	2004 LAND PLAN	2014 LAND PLAN
BUILDING 000	6,440	28,300
BUILDING 001	888	8,360
BUILDING 002	9,790	888,3
BUILDING 003	11,320	8888
BUILDING 004	7,981	3,787
BUILDING 005	8,215	3,787
TOTAL	48,767	4,271

2014 LAND PLAN HAS AN OVERALL DECREASE IN IMPERVIOUS AREA OF 6,500 SF

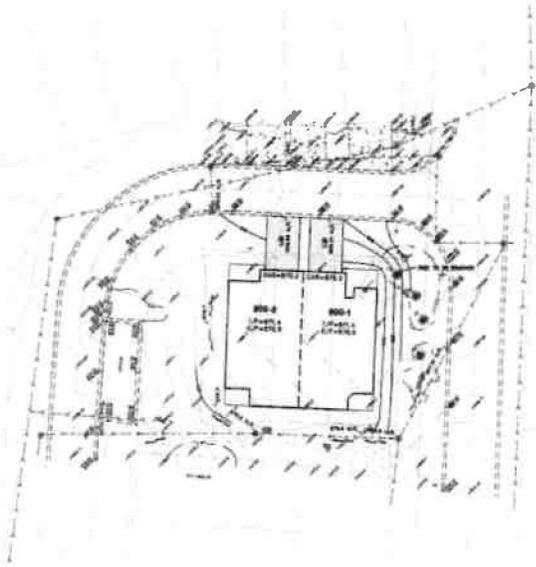
Manhard

MANHARD CONSULTANTS, INC.
10000 W. 16th Avenue, Suite 100, Denver, CO 80202
Tel: 303.751.1000 Fax: 303.751.1001

HAWTHORN WOOD COUNTRY CLUB TOWNHOMES UNITS 1-15
VILLAGE OF HAWTHORN WOODS, ILLINOIS
SITE PLAN - PHASE 1

DATE: 11/11/14
SCALE: AS SHOWN
DRAWN BY: JMM
CHECKED BY: JMM
DATE: 11/11/14

4-15



Symbol	Description
(Symbol)	Proposed Building Footprint
(Symbol)	Proposed Parking Area
(Symbol)	Proposed Access Road
(Symbol)	Proposed Site Boundary
(Symbol)	Proposed Utility Lines
(Symbol)	Proposed Erosion Control
(Symbol)	Proposed Landscaping
(Symbol)	Proposed Stormwater Management
(Symbol)	Proposed Security Features
(Symbol)	Proposed Other Features

Manhard

MANHARD ENGINEERING & ARCHITECTURE, INC.

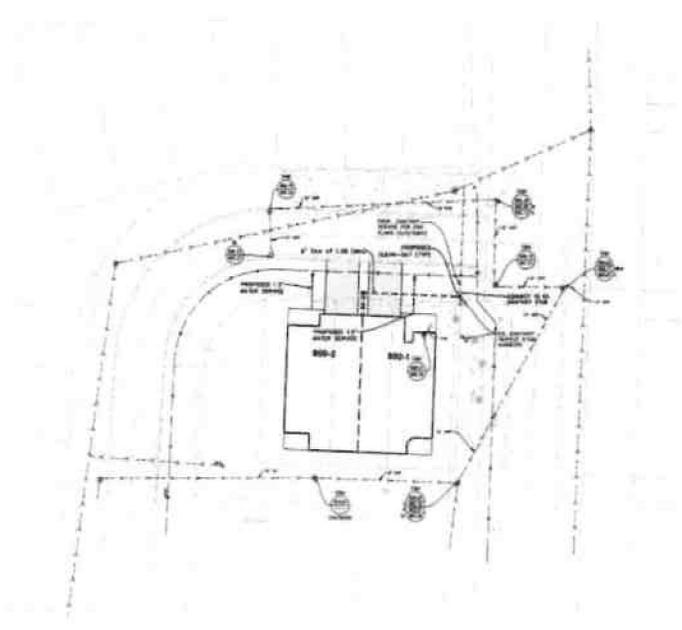
1000 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202

TEL: 303.733.1100 FAX: 303.733.1101

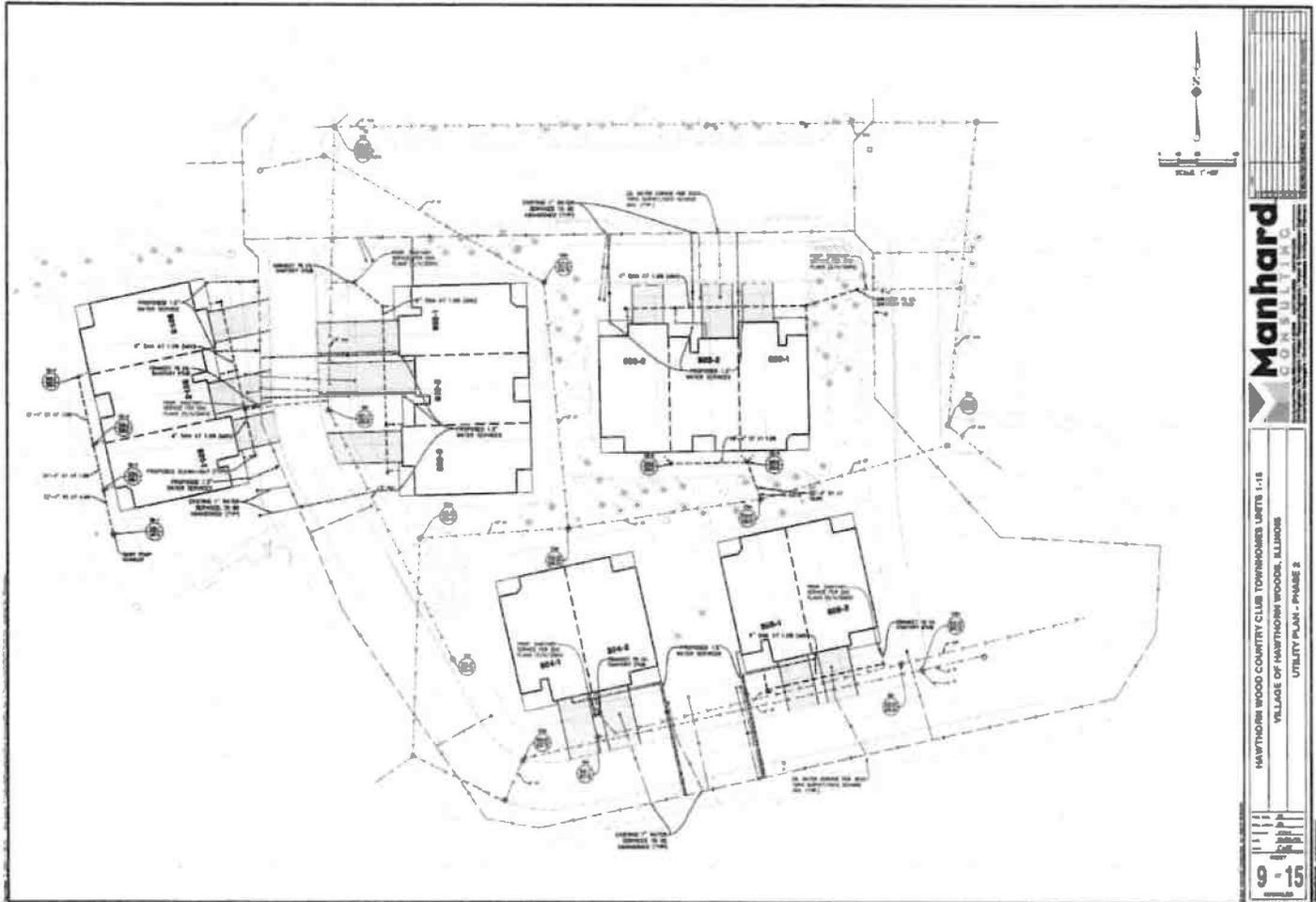
WWW.MANHARD-ENR.COM

HAYTHORN WOOD COUNTRY CLUB TOWNHOMES UNITS 1-16
 VILLAGE OF HAYTHORN WOOD, ILLINOIS
 GRADING PLAN - PHASE 1

6-5



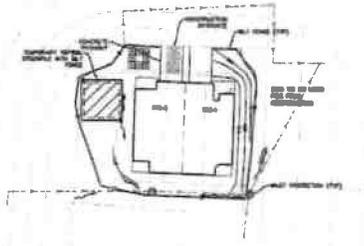
Manhard C. S. D. INC.	
HAWTHORN WOOD COUNTRY CLUB TOWNHOUSES UNITS 1-11 VILLAGE OF HAWTHORN WOOD, ILLINOIS UTILITY PLAN - PHASE 1	
DATE: 11/15/11	SCALE: 1"=40'
PROJECT NO.: 11-001	CLIENT: MANHARD C.S.D. INC.
DESIGNER: [Signature]	CHECKER: [Signature]
DATE: 11/15/11	SCALE: 1"=40'



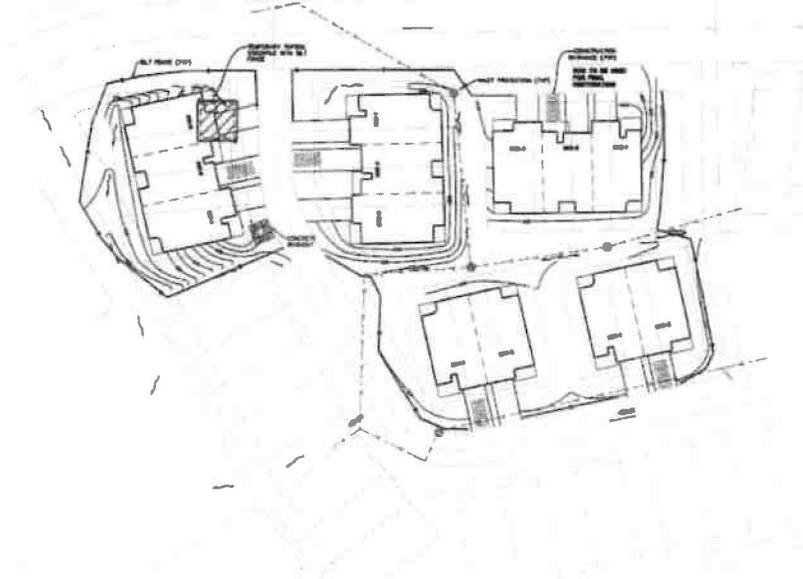
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CONSULTING

HAWTHORN WOOD COUNTRY CLUB TOWNHOMES UNITS 1-15
VILLAGE OF HAWTHORN WOOD, ILLINOIS
UTILITY PLAN - PHASE 2

9
15



HWCC PHASE 1



HWCC PHASE 2



LEGEND	
[Symbol]	EXISTING AND PROPOSED DRIVEWAYS
[Symbol]	EXISTING AND PROPOSED DRIVEWAYS
[Symbol]	EXISTING AND PROPOSED DRIVEWAYS

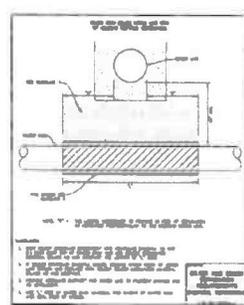
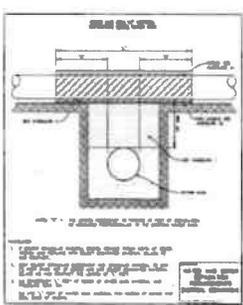
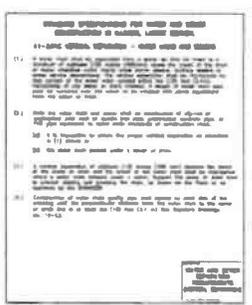
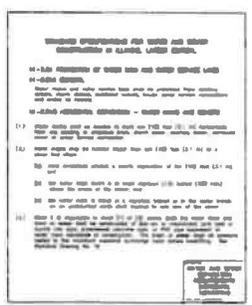
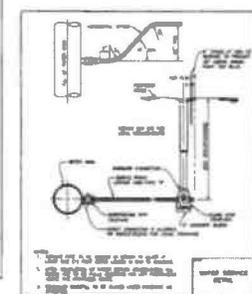
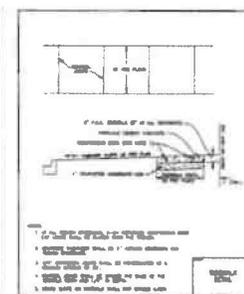
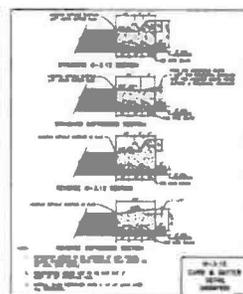
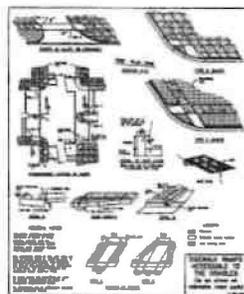
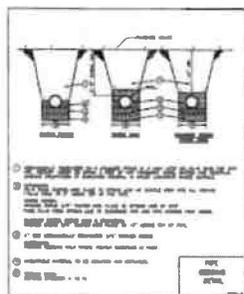
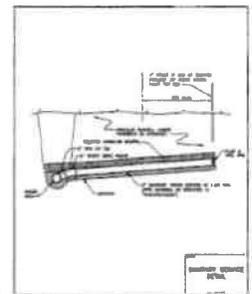
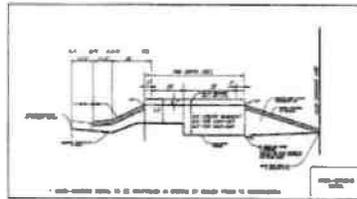
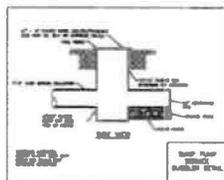
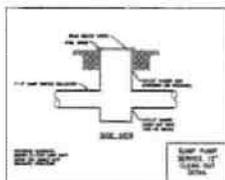
1. ALL UTILITIES AND STRUCTURES, EXISTING AND PROPOSED, SHALL BE SHOWN ON THIS PLAN. THE LOCATION OF ALL UTILITIES SHALL BE INDICATED BY A DASHED LINE WITH THE FOLLOWING NOTATION:
 - 1. GAS
 - 2. WATER
 - 3. SANITARY SEWER
 - 4. STORM SEWER
 - 5. TELEPHONE
 - 6. CABLE TELEVISION
 - 7. FIBER OPTIC
2. THE PROPOSED DRIVEWAYS SHALL BE SHOWN ON THIS PLAN. THE LOCATION OF ALL DRIVEWAYS SHALL BE INDICATED BY A DASHED LINE WITH THE FOLLOWING NOTATION:
 - 1. EXISTING DRIVEWAY
 - 2. PROPOSED DRIVEWAY
3. THE PROPOSED DRIVEWAYS SHALL BE SHOWN ON THIS PLAN. THE LOCATION OF ALL DRIVEWAYS SHALL BE INDICATED BY A DASHED LINE WITH THE FOLLOWING NOTATION:
 - 1. EXISTING DRIVEWAY
 - 2. PROPOSED DRIVEWAY
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 - 2. PROPOSED DRIVEWAY
5. THE PROPOSED DRIVEWAYS SHALL BE SHOWN ON THIS PLAN. THE LOCATION OF ALL DRIVEWAYS SHALL BE INDICATED BY A DASHED LINE WITH THE FOLLOWING NOTATION:
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 - 2. PROPOSED DRIVEWAY
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 - 1. EXISTING DRIVEWAY
 - 2. PROPOSED DRIVEWAY
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 - 2. PROPOSED DRIVEWAY
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 - 1. EXISTING DRIVEWAY
 - 2. PROPOSED DRIVEWAY
16. THE PROPOSED DRIVEWAYS SHALL BE SHOWN ON THIS PLAN. THE LOCATION OF ALL DRIVEWAYS SHALL BE INDICATED BY A DASHED LINE WITH THE FOLLOWING NOTATION:
 - 1. EXISTING DRIVEWAY
 - 2. PROPOSED DRIVEWAY
17. THE PROPOSED DRIVEWAYS SHALL BE SHOWN ON THIS PLAN. THE LOCATION OF ALL DRIVEWAYS SHALL BE INDICATED BY A DASHED LINE WITH THE FOLLOWING NOTATION:
 - 1. EXISTING DRIVEWAY
 - 2. PROPOSED DRIVEWAY
18. THE PROPOSED DRIVEWAYS SHALL BE SHOWN ON THIS PLAN. THE LOCATION OF ALL DRIVEWAYS SHALL BE INDICATED BY A DASHED LINE WITH THE FOLLOWING NOTATION:
 - 1. EXISTING DRIVEWAY
 - 2. PROPOSED DRIVEWAY
19. THE PROPOSED DRIVEWAYS SHALL BE SHOWN ON THIS PLAN. THE LOCATION OF ALL DRIVEWAYS SHALL BE INDICATED BY A DASHED LINE WITH THE FOLLOWING NOTATION:
 - 1. EXISTING DRIVEWAY
 - 2. PROPOSED DRIVEWAY
20. THE PROPOSED DRIVEWAYS SHALL BE SHOWN ON THIS PLAN. THE LOCATION OF ALL DRIVEWAYS SHALL BE INDICATED BY A DASHED LINE WITH THE FOLLOWING NOTATION:
 - 1. EXISTING DRIVEWAY
 - 2. PROPOSED DRIVEWAY

Manhard
CORPORATION
INC.

HAWTHORN WOOD COUNTRY CLUB TOWNHOUSES UNITS 1-16
VILLAGE OF HAWTHORN WOODS, ILLINOIS
SOIL EROSION & SEDIMENT CONTROL PLAN

10-15

IF A CONFLICT ARISES BETWEEN MANHARD DETAILS AND THE VILLAGE AND SQUARE DETAILS, THE VILLAGE AND SQUARE DETAILS SHALL TAKE PRECEDENCE.



NO.	DESCRIPTION	QTY	UNIT
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TRENCH DETAIL (PAVED AREA)
SCALE: 1/2" = 1'-0"

TRENCH NOTES:

1. ALL TRENCHES SHALL BE 18" WIDE AT THE BOTTOM.
2. TRENCHES SHALL BE 12" DEEP AT THE BOTTOM.
3. TRENCHES SHALL BE 18" WIDE AT THE TOP.
4. TRENCHES SHALL BE 12" DEEP AT THE TOP.
5. TRENCHES SHALL BE 18" WIDE AT THE BOTTOM.
6. TRENCHES SHALL BE 12" DEEP AT THE BOTTOM.
7. TRENCHES SHALL BE 18" WIDE AT THE TOP.
8. TRENCHES SHALL BE 12" DEEP AT THE TOP.

TRENCH DETAIL (NON-PAVED)
SCALE: 1/2" = 1'-0"

TRENCH NOTES:

1. ALL TRENCHES SHALL BE 18" WIDE AT THE BOTTOM.
2. TRENCHES SHALL BE 12" DEEP AT THE BOTTOM.
3. TRENCHES SHALL BE 18" WIDE AT THE TOP.
4. TRENCHES SHALL BE 12" DEEP AT THE TOP.
5. TRENCHES SHALL BE 18" WIDE AT THE BOTTOM.
6. TRENCHES SHALL BE 12" DEEP AT THE BOTTOM.
7. TRENCHES SHALL BE 18" WIDE AT THE TOP.
8. TRENCHES SHALL BE 12" DEEP AT THE TOP.

WATER & SEWER SEPARATION REQUIREMENTS
SCALE: 1/2" = 1'-0"

REQUIREMENTS:

- 1. MINIMUM SEPARATION SHALL BE 18" BETWEEN THE TOPS OF THE PIPES.
- 2. MINIMUM SEPARATION SHALL BE 12" BETWEEN THE BOTTOMS OF THE PIPES.

THRUST BLOCKING DETAILS
SCALE: 1/2" = 1'-0"

TYPICAL HYDRANT INSTALLATION
SCALE: 1/2" = 1'-0"

NOTES:

1. HYDRANT SHALL BE 18" DIA.
2. HYDRANT SHALL BE 12" DEEP AT THE BOTTOM.
3. HYDRANT SHALL BE 18" WIDE AT THE TOP.
4. HYDRANT SHALL BE 12" DEEP AT THE TOP.

TYPICAL VALVE BOX INSTALLATION
SCALE: 1/2" = 1'-0"

NOTES:

1. VALVE BOX SHALL BE 18" DIA.
2. VALVE BOX SHALL BE 12" DEEP AT THE BOTTOM.
3. VALVE BOX SHALL BE 18" WIDE AT THE TOP.
4. VALVE BOX SHALL BE 12" DEEP AT THE TOP.

CASING SPACER DETAIL
SCALE: 1/2" = 1'-0"

NOTES:

1. CASING SPACER SHALL BE 18" DIA.
2. CASING SPACER SHALL BE 12" DEEP AT THE BOTTOM.
3. CASING SPACER SHALL BE 18" WIDE AT THE TOP.
4. CASING SPACER SHALL BE 12" DEEP AT THE TOP.

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	18" DIA. CASING SPACER	1	EA	100.00	100.00
2	12" DIA. CASING SPACER	1	EA	80.00	80.00
3	18" DIA. CASING SPACER	1	EA	100.00	100.00
4	12" DIA. CASING SPACER	1	EA	80.00	80.00
5	18" DIA. CASING SPACER	1	EA	100.00	100.00
6	12" DIA. CASING SPACER	1	EA	80.00	80.00
7	18" DIA. CASING SPACER	1	EA	100.00	100.00
8	12" DIA. CASING SPACER	1	EA	80.00	80.00
9	18" DIA. CASING SPACER	1	EA	100.00	100.00
10	12" DIA. CASING SPACER	1	EA	80.00	80.00

FUNCTIONS LIST TO CALCULATE RESTRAINT LENGTHS:

1. RESTRAINT LENGTH SHALL BE 18" FOR 18" DIA. CASING SPACER.
2. RESTRAINT LENGTH SHALL BE 12" FOR 12" DIA. CASING SPACER.
3. RESTRAINT LENGTH SHALL BE 18" FOR 18" DIA. CASING SPACER.
4. RESTRAINT LENGTH SHALL BE 12" FOR 12" DIA. CASING SPACER.

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS AND BRIDGES, PUBLISHED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SEWER AND WATER MAINS, PUBLISHED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF WATER MAINS, PUBLISHED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF WATER MAINS, PUBLISHED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF WATER MAINS, PUBLISHED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF WATER MAINS, PUBLISHED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF WATER MAINS, PUBLISHED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF WATER MAINS, PUBLISHED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.

TYPICAL HYDRANT REMOVAL
SCALE: 1/2" = 1'-0"

NOTES:

1. HYDRANT SHALL BE 18" DIA.
2. HYDRANT SHALL BE 12" DEEP AT THE BOTTOM.
3. HYDRANT SHALL BE 18" WIDE AT THE TOP.
4. HYDRANT SHALL BE 12" DEEP AT THE TOP.

TYPICAL VALVE ABANDONMENT
SCALE: 1/2" = 1'-0"

NOTES:

1. VALVE SHALL BE 18" DIA.
2. VALVE SHALL BE 12" DEEP AT THE BOTTOM.
3. VALVE SHALL BE 18" WIDE AT THE TOP.
4. VALVE SHALL BE 12" DEEP AT THE TOP.

AQUA ILLINOIS

AQUA ILLINOIS, INC.
 1000 W. MONROE ST. CHICAGO, IL 60606
 (773) 462-1000
 WWW.AQUA-ILLINOIS.COM

Manhard

MANHARTON WOOD COUNTRY CLUB TOWNHOUSES UNIT 1-15
 VILLAGE OF MANHARTON WOOD, ILLINOIS
 AQUA CONSTRUCTION DETAILS - WATER

13-15
 UNREVISED

<p>AQUA ILLINOIS, INC. 1000 N. WASHINGTON ST. SUITE 100 DEPT. 313 - PROPOSED BULKHEAD IMPROVEMENTS HARTSHORN VILLAGE HARTSHORN CONSTRUCTION SPECIFICATIONS</p>		<p>AQUA illinois</p> <p>300 S. ADAMS ST. 4TH FLOOR CHICAGO, IL 60604 TEL: 312.467.4000 FAX: 312.467.4001</p>	
<p>HARTSHORN WOOD COUNTRY CLUB TOWNHOUSE UNITS 1-18 VILLAGE OF HARTSHORN WOODS, ILLINOIS AQUA CONSTRUCTION SPECIFICATIONS</p>		<p>Manhard CONSULTING</p>	

Elevations – Duplex



Front Elevation - Cottage Style

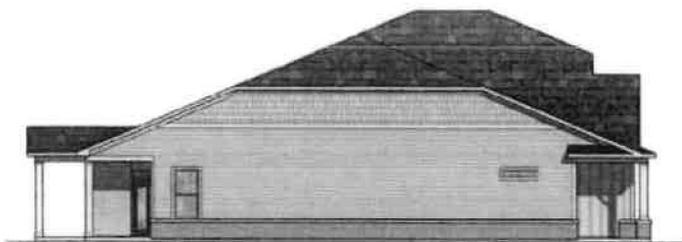
scale: 1/4" = 1'-0"

Elevations – Duplex



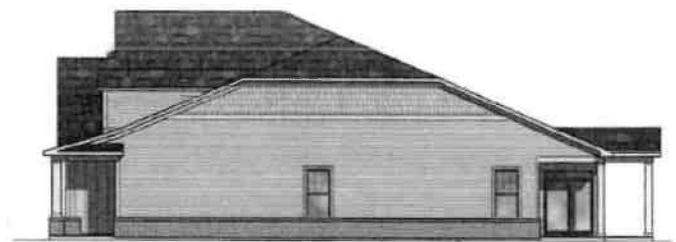
Rear Elevation

scale: 3/16" = 1'-0"



Left Elevation

scale 3/16" = 1'-0"



Right Elevation

scale 3/16" = 1'-0"

Elevations – Triplex



Front Elevation - Cottage Style

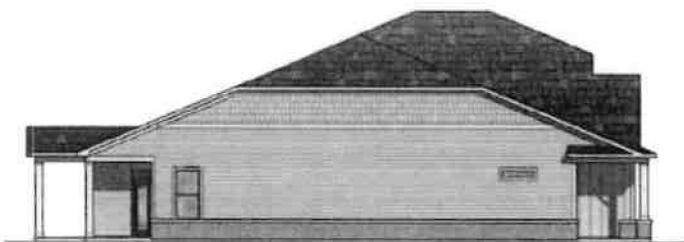
Scale: 1/4" = 1'-0"

Elevations – Triplex



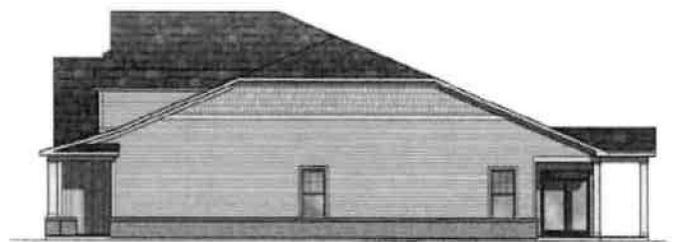
Rear Elevation

scale: 3/16" = 1'-0"



Left Elevation

scale: 3/16" = 1'-0"



Right Elevation

scale: 3/16" = 1'-0"

Triplex Look Out

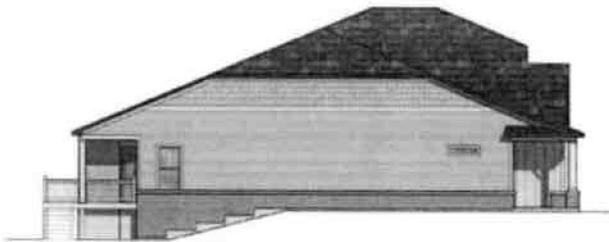
Triplex Walk Out



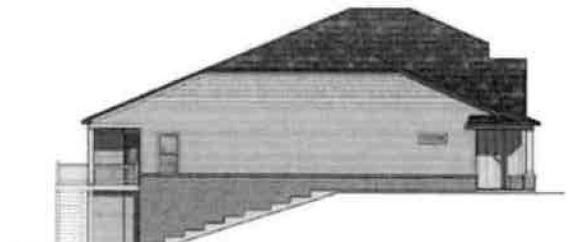
Rear Elevation
scale 3/8" = 1'-0"



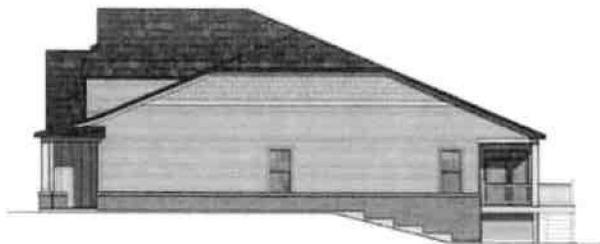
Rear Elevation
scale 3/8" = 1'-0"



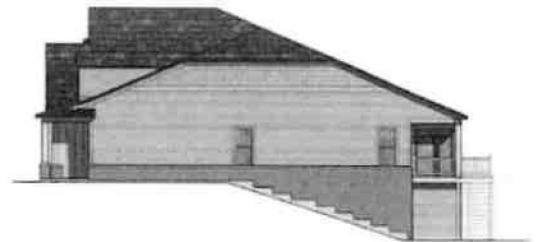
Left Elevation
scale 3/16" = 1'-0"



Left Elevation
scale 3/16" = 1'-0"



Right Elevation
scale 3/16" = 1'-0"



Right Elevation
scale 3/16" = 1'-0"

Final Landscape Plan
HAWTHORN WOODS COUNTRY CLUB
 TOWNHOMES UNITS 1-15
 Hawthorn Woods, Illinois
 September 16, 2024

CONSULTANTS:



LANDSCAPE ARCHITECT
 GARY R. WEBER ASSOCIATES, INC.
 402 W. LIBERTY DRIVE
 WEBER ATON, ILLINOIS 60117



CIVIL ENGINEER
 ALSHARD CONSULTING LTD.
 700 SPRINGER DRIVE
 LOMBARD, ILLINOIS 60148



LOCATION MAP
 SCALE: 1"=340'

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
L1.0	COVER SHEET
L1.1	LANDSCAPE PLAN
L1.2	FOUNDATION LANDSCAPE PLAN
L1.3	TREE PRESERVATION PLAN
L1.4	TREE INVENTORY
L1.5	LANDSCAPE SPECIFICATIONS



M | HOMES



Standard Preservation Tree Protection Table 1-14
 See also table 1-13 and 1-15

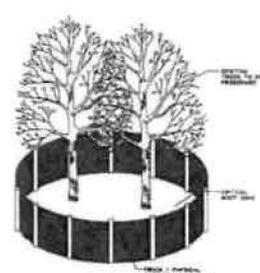
MINIMUM TREE PROTECTION

1. Tree diameter at 4.5' above ground (DBH) (inches) (round up)

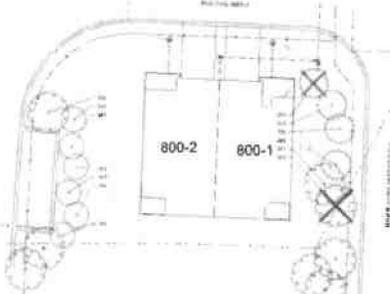
2. Minimum tree height above ground (feet) (round up)

Tree Diameter (DBH) (inches)	Minimum Tree Height (feet)
0 - 4	4
4 - 6	6
6 - 8	8
8 - 10	10
10 - 12	12
12 - 14	14
14 - 16	16
16 - 18	18
18 - 20	20
20 - 24	24
24 - 30	30
30 - 36	36
36 - 42	42
42 - 48	48
48 - 54	54
54 - 60	60
60 - 66	66
66 - 72	72
72 - 78	78
78 - 84	84
84 - 90	90
90 - 96	96
96 - 102	102
102 - 108	108
108 - 114	114
114 - 120	120
120 - 126	126
126 - 132	132
132 - 138	138
138 - 144	144
144 - 150	150
150 - 156	156
156 - 162	162
162 - 168	168
168 - 174	174
174 - 180	180
180 - 186	186
186 - 192	192
192 - 198	198
198 - 204	204
204 - 210	210
210 - 216	216
216 - 222	222
222 - 228	228
228 - 234	234
234 - 240	240
240 - 246	246
246 - 252	252
252 - 258	258
258 - 264	264
264 - 270	270
270 - 276	276
276 - 282	282
282 - 288	288
288 - 294	294
294 - 300	300

NOTE: TREE HEIGHT IS:



TREE PRESERVATION DETAIL
 SEE NOTES



SCALE: 1"=30'
 NORTH

- TREE PRESERVATION NOTES**
1. All trees 18" high or taller at breast height shall be marked with a 6" diameter red 'X' on the trunk or a 6" diameter red 'P' on the trunk before construction begins, and shall not be removed until the completion of construction.
 2. All additional markings for marking trees shall not be removed until the property is cleared or otherwise with approved horticultural practices and the permission of the professional arborist, landscape architect or horticulturist.
 3. Broken or badly injured branches shall be removed with a clean cut, if recommended by the professional arborist, landscape architect or horticulturist.
 4. Care shall be exercised by the contractor to protect all marked trees and branches from damage by ground level construction, machinery or equipment and by damage from engine exhaust.
 5. Constructed a steel structure when the maximum canopy width or diameter of trees, including all limbs, branches, and twigs and existing, within 10 feet, and all other similar structures, signs, antennas, and other structures shall not be installed.
 6. When underground utilities are present within 5' of a preserved tree trunk, they must be marked if needed.



CHRYSLER FINANCIAL GROUP
 CHRYSLER FINANCIAL GROUP
 1000 PENNSYLVANIA AVENUE, N.W.
 WASHINGTON, D.C. 20004

M.I. HOMES
 1000 PENNSYLVANIA AVENUE, N.W.
 WASHINGTON, D.C. 20004

HAWTHORN WOODS COUNTRY CLUB
 TOWNHOME UNITS 1-15
 HAWTHORN WOODS, IL
TREE PRESERVATION PLAN

L1.3

LANDSCAPE SPEC PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

- 1. The work shall include all planning, conceptualizing and detailing of landscape, planting and site work required for:
 - The development of site, utility, electrical, storm and site work as shown on the drawings.
 - The installation of landscape materials as specified herein.
 - The maintenance of landscape materials in accordance with the provisions of this section.
 - The design, planting and maintenance of a complete landscape program for the site.
 - Planting and site work as required.

1.2 QUALITY ASSURANCE

- 1. Work shall conform to State of Texas Administrative Code and local municipal requirements.
- 1.1.1 Shop General Procedures:
 - 1.1.1.1 Show landscape materials and application of finishes as required by governmental authorities. Comply with applicable regulations regarding landscape materials.
 - 1.1.1.2 Do not accept substitutions of specified materials without an approved change order.
 - 1.1.1.3 All materials shall be of the highest quality and approved for use by governmental authorities.

1.3 SUBMITTALS

- 1.3.1 Planting Schedule:
 - 1.3.1.1 Submit three (3) copies of the proposed planting schedule showing dates for each type of planting.
 - 1.3.1.2 Materials Schedule - Landscape Work:
 - 1.3.1.2.1 Submit two (2) copies of landscape materials (including quantities to be installed by the contractor) for the installation of landscape work for the site. Submit prior to installation of landscape materials.
 - 1.3.1.2.2 Submit two (2) copies of landscape materials (including quantities to be installed by the contractor) for the installation of landscape work for the site. Submit prior to installation of landscape materials.
 - 1.3.1.2.3 Submit two (2) copies of landscape materials (including quantities to be installed by the contractor) for the installation of landscape work for the site. Submit prior to installation of landscape materials.

1.4 JOB CONDITIONS

- 1.4.1 Existing and Proposed Conditions:
 - 1.4.1.1 Existing and proposed conditions shall be shown on the drawings. The contractor shall be responsible for verifying the accuracy of the information shown on the drawings.
 - 1.4.1.2 Existing and proposed conditions shall be shown on the drawings. The contractor shall be responsible for verifying the accuracy of the information shown on the drawings.
 - 1.4.1.3 Existing and proposed conditions shall be shown on the drawings. The contractor shall be responsible for verifying the accuracy of the information shown on the drawings.

1.5 MATERIALS

- 1.5.1 Planting Materials:
 - 1.5.1.1 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.5.1.2 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.5.1.3 All plants shall be of the highest quality and approved for use by governmental authorities.
- 1.5.2 Planting Materials:
 - 1.5.2.1 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.5.2.2 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.5.2.3 All plants shall be of the highest quality and approved for use by governmental authorities.

1.4 PLANTING SCHEDULE

- 1.4.1 Planting Schedule:
 - 1.4.1.1 Submit three (3) copies of the proposed planting schedule showing dates for each type of planting.
 - 1.4.1.2 Materials Schedule - Landscape Work:
 - 1.4.1.2.1 Submit two (2) copies of landscape materials (including quantities to be installed by the contractor) for the installation of landscape work for the site. Submit prior to installation of landscape materials.
 - 1.4.1.2.2 Submit two (2) copies of landscape materials (including quantities to be installed by the contractor) for the installation of landscape work for the site. Submit prior to installation of landscape materials.
 - 1.4.1.2.3 Submit two (2) copies of landscape materials (including quantities to be installed by the contractor) for the installation of landscape work for the site. Submit prior to installation of landscape materials.

1.5 MATERIALS

- 1.5.1 Planting Materials:
 - 1.5.1.1 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.5.1.2 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.5.1.3 All plants shall be of the highest quality and approved for use by governmental authorities.
- 1.5.2 Planting Materials:
 - 1.5.2.1 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.5.2.2 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.5.2.3 All plants shall be of the highest quality and approved for use by governmental authorities.

1.6 SPECIAL REQUIREMENTS

- 1.6.1 Special Requirements:
 - 1.6.1.1 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.6.1.2 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.6.1.3 All plants shall be of the highest quality and approved for use by governmental authorities.

1.7 SPECIAL REQUIREMENTS

- 1.7.1 Special Requirements:
 - 1.7.1.1 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.7.1.2 All plants shall be of the highest quality and approved for use by governmental authorities.
 - 1.7.1.3 All plants shall be of the highest quality and approved for use by governmental authorities.



HAWTHORN WOODS COUNTRY CLUB FOUNDATION LANDSCAPE PLAN