

ORDINANCE NO. 2420-24

AN ORDINANCE AUTHORIZING THE EXECUTION OF THE HAWTHORN WOODS COUNTRY CLUB SUBDIVISION IMPROVEMENT AGREEMENT FOR PHASES 5 & 6 — MI HOMES

WHEREAS, on or about June 24, 2024, the Village Board approved an amendment to the special use permit for: i) approval of Final Plats of Resubdivision of Hawthorn Woods Country Club Phase 5 and Phase 6; ii) approval of an amendment to the Special Use and Special Use Planned Unit Development for Hawthorn Woods Phase 5 and Phase 6 as set forth on the plans and materials submitted with the application; and iii) approval of Architectural Plans and Elevations for Hawthorn Woods Phase 5 and Phase 6; and,

WHEREAS, the amendment to the special use permit was granted contingent upon the approval of a Subdivision Improvement Agreement.

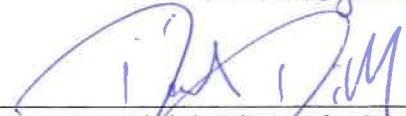
NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Hawthorn Woods, Illinois, that the Mayor and Village Clerk be, and the same are, are hereby directed to enter into a certain Hawthorn Woods Country Club Subdivision Improvement Agreement for Phases 5 & 6 with MI Homes, in substantially the form attached hereto as **Exhibit "A"**, and, by this reference, made a part hereof.

The foregoing Ordinance was adopted by the Board of Trustees of the Village of Hawthorn Woods, Illinois on December 5, 2024.

AYES: Krissee, McCartney, Reschke, Hunt, Roman

NAYS: 0

ABSENT AND NOT VOTING: Boyer

APPROVED:   
Dominick DiMaggio, Mayor

ATTEST:   
Donna Lobaito, Village Clerk

ADOPTED: December 5, 2024

APPROVED: December 5, 2024

**HAWTHORN WOODS COUNTRY CLUB NEIGHBORHOOD 5 & 6 SUBDIVISION**  
**IMPROVEMENT AGREEMENT**

THIS AGREEMENT is made and entered into this 10<sup>th</sup> day of December, 2024 (“**Effective Date**”), by and between the VILLAGE OF HAWTHORN WOODS, a municipal corporation of the State of Illinois, having its principal offices at 2 Lagoon Drive, Hawthorn Woods, Illinois 60047 (“**Village**”) and M/I HOMES OF CHICAGO, LLC (“**Developer**”).

**WITNESSETH:**

WHEREAS, on or about June 26, 2023 the Village approved Ordinance No. 2260-23, An Ordinance Granting An Amendment to the Special Use Permit for the Hawthorn Woods Country Club For: i) Approval of Preliminary Plats of Subdivision for Phase 5 and Phase 6 and ii) Approval of an Amendment to the Special Use Planned Development for the Hawthorn Woods Country Club for the Proposed Preliminary Re-Plan and Re-Plat of Phase 5 (From 18 to 29 Lots) and Phase 6 (From 36 to 58 Lots) as Set Forth on the Plans and Materials Submitted With the Application, -- Toll IL HWCC, L.P.

WHEREAS, on or about March 1, 2024, Developer, as applicant, filed an application for approval of Final Plats of Subdivision for Phase 5 and Phase 6 in Hawthorn Woods Country Club (“**HWCC**”) so as to permit development of Phase 5 and Phase 6 in HWCC (“**Project**”);

WHEREAS, the Final Plats of Subdivision for Phase 5 and Phase 6 were recommended for approval by the Planning, Building and Zoning Commission of the Village on June 11, 2024;

WHEREAS, the Developer intends to develop the eighty-six (86) lots and outlots depicted on the Final Plats of Subdivision for Phase 5 and Phase 6 with twenty-eight (28) single-family homes in Phase 5 and fifty-eight (58) single-family homes in Phase 6 of HWCC, which property is legally described on **Exhibit “A”** attached hereto and incorporated herein (“**SF Lots**” or “**Subject Property**”);

WHEREAS, the Developer intends to develop the Subject Property in two (2) separate phases (Phase 5 and Phase 6).

WHEREAS, the Developer intends to file a separate application for twenty-one (21) vacant townhome lots in Phase 1 and Phase 2 of HWCC (lots 590-592 in Phase 1; lots 492-495 and 522-535 in Phase 2), which property is legally described on **Exhibit "B"** attached hereto and incorporated herein ("**TH Lots**");

WHEREAS, the Developer is the contract purchaser of six (6) vacant lots along Fairfield Road in Phase 3 and Phase 4 of HWCC (lots 126-129 in Phase 3; lots 130-131 in Phase 4), which property is legally described on **Exhibit "C"** attached hereto and incorporated herein ("**Fairfield Lots**");

WHEREAS, TOLL IL HWCC, L.P., an Illinois limited partnership ("**Toll**") was the original developer of HWCC;

WHEREAS, Developer is under contract to purchase the SF Lots, TH Lots, and Fairfield Lots from Toll;

WHEREAS, the Village, Toll, and other parties previously entered into that certain Annexation and Development Agreement recorded in the Office of the Lake County Recorder on May 30, 2003, as Document No. 5251985, as amended ("**Annexation Agreement**");

WHEREAS, the Village and Developer acknowledge the Annexation Agreement has expired and is of no further force and effect;

WHEREAS, per the terms of the Annexation Agreement, Toll was not required to pay connection fees for 592 lots in HWCC (including the SF Lots, TH Lots, and Fairfield Lots) to connect to the wastewater reclamation and reuse system ("**WWRR System**") and potable water system ("**Water System**") for HWCC;

WHEREAS, Aqua Illinois, Inc. f/k/a Consumers Illinois Water Company (“**Aqua**”), a public utility company, owns and operates the WRRR System and Water System for HWCC;

WHEREAS, Aqua, the Village, and Toll entered into that certain Settlement Agreement and General Mutual Release dated March 8, 2021 (“**Settlement Agreement**”) whereby Toll reserved the rights to connect one hundred eighty-nine (189) single family dwelling units to the WRRR System and Water System without the payment of any recapture fees, connection fees, or other fees (other than customary standard usage fees) to either Aqua or the Village (“**Reserved Connection Rights**”);

WHEREAS, pursuant to a certain Assignment and Assumption of Reserved Connection Rights agreement entered into between Toll and Developer, Toll previously assigned one hundred five (105) of the Reserved Connection Rights to Developer in association with the sale of existing lots in the HWCC (each an “**Existing Lot**” and collectively the “**Existing Lots**”);

WHEREAS, Developer sold one of the Existing Lots (Lot 472, 17 Twin Eagles Court) to an adjacent homeowner for the express purpose of expanding said homeowner’s property and in association therewith Developer specifically documented its reservation of the Reserved Connection Rights with respect to the Existing Lot so transferred;

WHEREAS, Toll intends to assign the remaining eighty-four (84) Reserved Connection Rights to Developer;

WHEREAS, the Village and Developer acknowledge that the one (1) Reserved Connection Right to be reallocated from the Existing Lots and the remaining eighty-four (84) Reserved Connection Rights will not be sufficient to accommodate connections to Aqua’s service for the eighty-six (86) SF Lots, twenty-one (21) TH Lots, and the six (6) Fairfield Lots, such that Developer shall apply for the appropriate permits and connections and pay connection

fees, and to the extent applicable any recapture fees, to the Village for any connections required beyond the Reserved Connection Rights;

WHEREAS, Aqua has executed IEPA Permits, Sanitary Sewer Main Extension Agreements, and Water Main Extension Agreements evidencing sufficient water and sanitary service for the SF Lots, TH Lots, and Fairfield Lots; and

WHEREAS, the Village is willing to approve development of the Subject Property provided this Agreement is executed to insure the completion of certain improvements in accordance with applicable Village ordinances and/or agreements between the Village and Developer.

NOW, THEREFORE, it is mutually agreed as follows:

1. **RECITALS**. The foregoing recitals are incorporated into this Section 1 as if fully set forth and are material terms to this Agreement.
2. **IMPROVEMENTS**. Developer shall furnish, or cause to be furnished, at its own cost and expense, all the necessary materials, labor and equipment to complete the following improvements on the Subject Property (collectively, the “**Improvements**”, or individually, an “**Improvement**”) as depicted on the approved Development Plans as defined in Section 3;
  - a. Street Paving (including curb, gutter, sidewalks, and all finished grading and restoration within the outlots designated for road purposes);
  - b. Storm Sewer Facilities (including any detention/retention facilities, and related structures);
  - c. Water Distribution and Sanitary Sewer Facilities (and all appurtenances thereto);
  - d. Parkway Landscaping, Parkway Trees, and Traffic Calming Devices;

- e. Landscaped areas in outlots or within easements for detention basins;
- f. Street Signs;
- g. Erosion Control;
- h. Site Grading and Earth Moving;
- i. Streetlights;
- j. Any and all restoration work attendant to any of the above; and
- k. All other Public Improvements as set forth on the Development Plans (as defined below).

3. **DEVELOPMENT PLANS.** Developer shall complete all such Improvements in a good and workmanlike manner and in accordance with all pertinent ordinances and regulations of the Village, in accordance with any other agreements between the Village and Developer, and in accordance with the plans and specifications for such Improvements shown on the Proposed Improvements for Hawthorn Woods Country Club – Phase 5 and 6 prepared by Manhard Consulting, Ltd., dated January 22, 2024, last revised July 29, 2024, and attached hereto as **Exhibit “D” (“Engineering Plan”)**; the Final Plat of Resubdivision of Hawthorn Woods Country Club Phase 5 and Final Plat of Resubdivision of Hawthorn Woods Country Club Phase 6 prepared by Manhard Consulting, Ltd., dated October 10, 2023, last revised August 5, 2024, and attached hereto as **Exhibit “E” (“Final Plats”)**; the Final Landscape Plan Hawthorn Woods Country Club Phases 5 & 6 prepared by Gary R. Weber Associates, Inc., dated February 28, 2024, last revised July 29, 2024, and attached hereto as **Exhibit “F” (“Landscaping Plan”)**; the architectural floor plans and building elevations prepared by M/I Homes of Chicago and dated January 10, 2022 attached hereto as **Exhibit “G” (“Elevations”)**; and the Anti-Monotony Exhibit prepared by M/I Homes of Chicago and dated February 29, 2024 attached hereto as **Exhibit “H” (“Anti-Monotony Exhibit”)** (hereinafter the Engineering Plan, Final Plats,

Landscaping Plan, Elevations, and Anti-Monotony Exhibit may be collectively referred to as “**Development Plans**”), which Development Plans were previously approved by the Village together with any amendments thereto.

4. **APPROVAL AND INSPECTION.** The Village and Developer acknowledge and agree the Village will not own the Improvements after their completion, such that acceptance of the Improvements is not required or appropriate. Notwithstanding the foregoing, upon completion of the Improvements, the Improvements shall be inspected for final approval by the Village as set forth herein (“**Final Approval**”):

Upon completion of all Improvements other than water and/or sanitary sewer for a specific phase and, further, upon the submission to the Village of a certificate from the engineering firm employed by Developer stating that the said category of Improvements for such phase have been completed in conformance with this Agreement, the Village Code (as modified by any departures accepted by the Village), the Final Engineering Plan and specifications relative thereto, any applicable agreements and all State and Federal laws and standards, the Village Engineer shall, within sixty (60) days after the Village receives the aforesaid certification from the Developer’s engineer, either (i) recommend to the Village’s corporate authorities Final Approval of said Improvements, or (ii) designate in writing to Developer all corrections or alterations which shall be required to obtain a recommendation of Final Approval of said Improvements, specifically citing sections of the Engineering Plan and specifications, the Village Code or this Agreement, any applicable agreement or State or Federal law or standard, relied upon by said Village Engineer. In the event of a conflict between the Engineering Plan, the Village Code, this Agreement, and other applicable laws, the Engineering Plan shall prevail. Should the Village Engineer reject any Improvement, or any portion or segment thereof, for a recommendation of Final Approval, the Developer shall cause to be made to

such Improvement such corrections or modifications as may be reasonably required by the Village Engineer. The Developer shall cause the Improvements to be submitted and resubmitted as herein provided until the Village Engineer shall recommend Final Approval of same to the corporate authorities of the Village and the corporate authorities shall approve same.

5. **SEWER AND WATER ACCEPTANCE.** Aqua shall determine when the water and sanitary sewer facilities are complete and Aqua's acceptance of same shall be deemed completion of such facilities for purposes of this Agreement, provided, however, that backfill used under the roads shall also be subject to inspection and approval by the Village Engineer. The Developer shall provide documentation to the Village confirming water and sanitary sewer acceptance by Aqua within thirty (30) days of Aqua's acceptance thereof. Upon Aqua's acceptance of the water and sanitary sewer facilities, the Village shall process reductions to security commensurate with the value of the completed improvements.

6. **PHASING.** The Developer and Village acknowledge that the Subject Property and the Improvements to be constructed thereon may be developed in multiple phases, namely Phase 5 and Phase 6. Developer shall complete all such Improvements utilizing the roads highlighted on **Exhibit "I"** ("**Construction Access**"). Notwithstanding any provision contained herein to the contrary, all Improvements for each phase of development, except for driveway aprons, parkway trees and landscaping for individual lots which do not then have completed homes on them, shall be completed for each phase no later than 4 years from and after the date the first building permit is issued for each respective phase. If work relating to the Improvements is not completed within the time prescribed herein, the Village shall have the right, but not the obligation, to require completion by drawing on the respective surety as defined in Section 9 herein, in addition to any other available remedies necessary to secure completion of same.

7. **UTILITY INSTALLATION.** Any utilities and services to be installed in or under the streets shall be installed prior to paving, except that water and sanitary sewer service lines that serve a lot located across the street from the water or sanitary sewer main to which such service line is connected may be installed via directional boring after the street has been paved.

8. **ENGINEER'S ESTIMATES.** Attached hereto as **Exhibit "J"** is a complete set of cost estimates for the construction of the Improvements ("**Engineer's Estimates**"). The Engineer's Estimates for the Improvements shall be updated for current pricing once final engineering for the Improvements is approved by the Village and the updated Engineer's Estimate must be approved by the Village.

9. **SURETY.** The Village Code and/or any applicable ordinance or agreement provides that the Developer shall collateralize its obligation to construct all Improvements. The Developer shall submit a letter of credit or bond substantially in the form attached hereto as **Exhibit "K"**, which is hereby incorporated herein by this reference, as a condition to the issuance of a permit for development work in each phase ("**Surety**"). Such Surety shall contain such terms and provisions as may be reasonably acceptable to the Village Attorney and shall be deposited with the Village prior to the issuance of a site development permit for the Subject Property. Surety for each phase shall, respectively, secure completion of (i) earthwork, grading, storm sewer facilities (including any detention/retention facilities, and related structures) and erosion control; (ii) potable water distribution facilities (and all appurtenances thereto); (iii) sanitary sewer facilities (and all appurtenances thereto); (iv) street paving (including curb, gutter, and sidewalks); (v) street signs and street lights; (vi) parkway landscaping and parkway trees; (vii) all other public improvements shown on the Development Plans for Phase 5 and Phase 6. The Village and Developer further agree that Surety for the Improvements will be revised upon the Village Engineer's confirmation of the final cost estimates for

the construction of the Improvements. Revised Surety for the Improvements shall be provided to the Village within fifteen (15) days following the Village Engineer's confirmation of such final cost.

Surety for Phase 5 and Phase 6 shall be in a principal amount of not less than one hundred ten percent (110%) of the Developer's Engineer's Estimate, as reflected on Exhibit J, which has been approved by the Village Engineer, of the costs of all such Improvements for the applicable phase, except that individual lot grading within the Project shall not be required to be secured.

Surety may provide for a reduction based upon the Village Engineer's recommendation to the Village's Chief Operating Officer of the value of any of the Improvements installed. The Village Engineer's recommendation shall not be subject to question. Reductions shall be based on the approved engineer's estimate, the Developer's affidavits of improvements completed, as-built drawings and inspections made by the Village. Reductions of the face amount of the Surety may be made upon the written request of the Developer provided that not more than four (4) requests are made per year in total. In no event shall the Surety be reduced to an amount less than one hundred ten percent (110%) of the Village Engineer's estimate of the cost of completion of all remaining Improvements, provided, however, that the engineer engaged by Aqua shall determine the estimate of the cost to complete the water and/or sanitary sewer facilities. So long as any portion of the Improvements secured by the Surety remain uncompleted or unapproved, the Developer shall not permit the Surety to expire, but shall, at least forty-five (45) days prior to their expiration dates, cause said Surety to be renewed and shall provide the renewed Surety to the Village Clerk. Failure of the Developer to renew said Surety shall be a breach of this Agreement. Any language in the Surety with respect to reduction shall be subject to the approval of the Village Attorney. In no event shall the Village Engineer's recommendation for a reduction to the Surety or the Chief Operating Officer's authorization for such reduction constitute Final Approval.

10. **CONSTRUCTION ACCESS.** The Developer has worked with the Hawthorn Woods Country Club Homeowners Association (“HOA”) in relation to the use and repair of roads to be used for construction access as depicted on **Exhibit “I” (“Construction Access”)**. Developer and HOA have addressed any concerns related to damage and repair of the roads comprising the Construction Access per separate agreement. As such, no surety shall be required to be provided by Developer to the Village in relation to the Construction Access.

11. **SCHWERMAN ROAD IMPROVEMENTS.** No Surety or other financial assurance shall be required for Developer’s use of Schwerman Road. In lieu of Surety or other financial assurance, Developer agrees to make a one-time payment to the Village in the amount of forty thousand dollars (\$40,000.00) for the Village’s repair of the roundabout located at the intersection of Schwerman Road and Tournament Drive (“**Roundabout**”), which amount shall be paid at the time of building permit for the first model home. The design, engineering, construction, and repair of the Roundabout shall be the sole responsibility, cost, and expense of the Village. Upon payment of the \$40,000.00, Developer shall have no further obligation with regards to Schwerman Road or the Roundabout.

12. **INSPECTION SCHEDULE.** Developer will pay to the Village all plan review, inspection and other fees as required by the Village’s form of the Draw Down Deposit Agreement executed by the Developer, dated March 1, 2024, unless otherwise agreed by the Village, in a written agreement entered thereunder. Subdivision site improvements inspection schedule shall consist of the following with 48- hour notice:

TYPE OF INSPECTION	FREQUENCY
Pre-construction meeting with Developer, engineer, Village and contractors	One time.
Soil Erosion and Sediment Control and Tree Removal	Prior to start of earth moving activities, once per month or as required by the Watershed

	Development Ordinance (WDO) as the Enforcement Officer, and one last time prior to final sign-off. Village acknowledges Developer will contract this work.
Storm sewer installation	Daily.
Water main and sanitary sewer	Aqua Illinois is responsible for construction observation. The Village will make daily checks of backfill operations where main lines or services cross a street.
Subgrade proof roll	One time, repeated as needed.
Stone base proof roll	One time, repeated as needed.
Curb and gutter	Pre-pour to check stone base (may be included in street base proof roll), Part-time observation of curb installation.
Hot mix asphalt pavement	Full time observation of all pavement placements.
Public sidewalk	Walk is installed as each home is built, inspections by Village of base and alignment before pour.
Final inspection	One time and subsequent checks of repaired items.
Record drawings review	One time for each submittal of as-built drawings.
Other concrete work	One time, repeated as needed.

13. **ROADS.** Roads in Phase 5 and Phase 6 are private roads. As such, the street opening fees set forth in Section 4-5-3 of the Village Code are inapplicable.

14. **ROADWAY OBSTRUCTIONS & MAILBOXES.** Except as permitted by this Agreement, Village Code, Village Guidelines, or Federal postal regulations, Developer shall not install obstructions or obstacles within the 50-foot-wide property that the roadway is constructed, including the parkway, other than those permitted in either this Agreement or the Village Code. All mailboxes and appurtenances shall comply with the Village Code, Village guidelines, and Federal postal regulations.

15. **MASTER APPROVALS.** At such time as the Village has approved building plans for any model of a dwelling unit to be constructed as a part of development of the Subject Property

(including extras or options), the same shall constitute a "**Master Approval**" of the plans for such model. Thereafter, the Village's review of any plans for any model which conforms to the plans for which a Master Approval has been made shall be streamlined to focus on its conformance with the structural requirements, lot density/setback compliance, and development standards. Nothing contained herein shall relieve Developer from the obligations to pay review or permit fees for each dwelling unit for which a building permit is sought. Developer shall also modify any plans to comply with any building and/or life safety code requirements adopted subsequent to the Master Approval. Developer shall provide Village with sufficient copies of plans for which Master Approval has been given, for use in the field as dwelling units are constructed.

16. **ELEVATIONS.** The Elevations attached hereto on Exhibit G are hereby approved. Subject to the review and approval of Village staff, and without the requirement to modify this Agreement or amend the underlying Special Use Planned Development, Village staff may approve new elevations ("**New Elevations**") or make changes to the Elevations, floor plans, and models provided the aforementioned plans or changes are consistent with the character and design of the approved Elevations. Any New Elevations or changes to the Elevations approved by Village Staff shall be incorporated herein as though part of the Elevations attached hereto.

17. **LIGHTING.** Any external light fixtures installed by Developer on homes shall comply with Section 9-19 of the Village Code.

18. **RECAPTURE.** The Village and Developer acknowledge and agree that no recapture obligations encumber or are otherwise due or payable to the Village or a third-party, for the SF Lots or TH Lots.

19. **INTENTIONALLY OMITTED.**

20. **WATER/WASTEWATER SYSTEM CONNECTION RIGHTS.** The Village acknowledges the Developer has one (1) Reserved Connection Right for allocation from the Existing Lots and eighty-four (84) remaining Reserved Connection Rights to the WWRR System and Water System (85 total Reserved Connection Rights). With the Reserved Connection Rights the Developer shall not be liable for payment of any fees, charges, or recapture to the Village for Developer's connection to the WWRR System or the Water System. The Developer and the Village acknowledge and agree that none of the Reserved Connection Rights shall be allocated to the Fairfield Lots. Any development of the Fairfield Lots shall require payment of all applicable fees, charges, and recapture fees associated with connection to the WWRR System and the Water System at the time of development. The Developer intends to develop the SF Lots with eighty-six (86) single-family homes. The Developer intends to build-out the existing twenty-one (21) vacant TH Lots with (15) new townhome dwelling units. Developer's intended build-out of the SF Lots and TH Lots will require a total of one-hundred and one (101) connections to the WWRR System and Water System. For the sixteen (16) connections that exceed the number of Reserved Connection Rights to the WWRR System and Water System, the Developer shall apply for the appropriate permits and connections and pay connection fees as set forth in Section 4-5-6 of the Village Code ("**Additional Connection Fees**"). The Additional Connection Fees shall be allocated solely to the SF Lots on the Subject Property. In lieu of the deferring payment of the Additional Connection Fees to the last units constructed, the Additional Connection Fees shall be allocated equally amongst the eighty-six (86) SF Lots on a pro rata basis and paid at the time of building permit issuance for each single-family lot. The required Additional Connection Fees total ninety-six thousand dollars (\$96,000.00) ((\$4,000 Sewer connection fee + \$2,000 Water Connection Fee) x 16 additional connections). Thus, the portion of the Additional Connection Fees to be paid by

each of the eighty-six (86) single-family lots equals one thousand one hundred sixteen and 28/100 dollars (\$1,116.28) per lot. Notwithstanding the foregoing, the Village and the Developer acknowledge that Developer may ultimately increase or decrease the number of SF Lots or TH Lots which require connection to the WWR System and Water System, in which event the Parties agree that the Additional Connection Fees shall be adjusted proportionately and without need to amend this Agreement. If Developer elects not to develop the TH Lots, Developer reserves the right to allocate the Reserved Connection Rights exclusively to the SF Lots.

21. **OTHER VILLAGE FEES.** Developer's anticipated improvement of the SF Lots and TH Lots includes a total of sixteen (16) dwelling units that were not contemplated with the original annexation and zoning of Hawthorn Woods Country Club. For these sixteen additional units (the "Additional Units"), Developer shall pay the development related impact fees identified on **Exhibit L ("Impact Fees")**. Said fees shall not increase for a period of 7 years from the date of this Agreement. In lieu of the deferring payment of the Impact Fees to the last units constructed, the Impact Fees shall be allocated equally amongst the eighty-six (86) SF Lots on a pro rata basis and paid at the time of building permit issuance for each single-family lot. The Impact Fees total Three Hundred Forty Two Thousand Six Hundred and Forty Dollars (\$342,640.00 = (\$5,800 General Contribution Fee + \$1,500 Aesthetic Improvement Fee + \$14,115 Park Fee) x 16 Additional Units). Thus, the portion of the Impact Fees to be paid by each of the eighty-six (86) single-family lots equals Three Thousand Nine Hundred Eighty-Four and 18/100 Dollars (\$3,984.18) per lot. Notwithstanding the foregoing, the Village and the Developer acknowledge that Developer may ultimately increase or decrease the number of SF Lots or TH Lots, in which

event the Parties agree that the Impact Fees shall be adjusted proportionately and without need to amend this Agreement.

Other than as listed on Exhibit L and the Village's currently applicable building permit fees, occupancy permit fees, building plan review and inspection fees, engineering plan review, public improvement inspection fees, fees found in the Village Code as amended from time to time, and other consultant's fees, which shall be paid at the time of building permit or certificate of occupancy issuance, as applicable, no other Village fees shall be applicable to the Subject Property. Engineering plan review and public improvement inspection fees shall be paid prior to the commencement of construction of any public improvements on the site. No Fee shall be increased for a period of five (5) years from recording of this Agreement. Any fee reductions which are customarily and generally applicable throughout the Village as established from time to time by the Village shall be applicable and accrue to the benefit of the Subject Property.

22. **INSURANCE.** The Developer shall furnish the Village with evidence of liability insurance in the amount of at least \$1,000,000/\$5,000,000 covering the construction activities of the Developer contemplated by this Agreement. Such insurance shall be written by a company rated by Best Reporting Service A VI or better. Such certificate of insurance shall be deposited before the commencement of any work by the Developer. The policy shall provide a thirty (30) day "prior notice of termination" provision in favor of the Village. Should the Developer allow such liability insurance to terminate prior to the Final Approval of all of the Improvements, the Village, upon thirty (30) days written notice, may have recourse against the Surety for funds sufficient to cause the liability insurance to remain in effect until the Final Approval of all of the Improvements.

23. **INDEMNIFICATION**. The Developer, by its execution of this Agreement, agrees to indemnify, hold harmless, defend, pay costs of defense, and pay any and all claims or judgments which may hereafter accrue against the Village, or its agents, servants, elected officials and employees, arising out of any of the Developer's agents' or contractors' construction activities contemplated by this Agreement, except those arising from the negligence or willful and wanton conduct of the Village, its agents, servants and employees ("**Indemnification Obligation**"). The Indemnification Obligation shall commence on the Village's issuance of the first permit authorizing Developer to commence work on the Subject Property and shall, with respect to each Improvement to the Subject Property, continue through a date that is four (4) years following the date that the Village engineer approves substantial completion of each Improvement.

24. **IMPROVEMENT SCHEDULE**. Improvements shall be completed in accordance with the following schedule:

- a. No work on the Improvements may commence until after the Final Plats have been approved by the Village Board and recorded and all required security has been provided and accepted. Any work on the Improvements commenced after approval of the Final Plats, but prior to recordation of the Final Plats, shall be allowed only after written authorization by the Village's Chief Operating Officer;
- b. After the silt fences are installed, the Village shall inspect such fences prior to any construction activity on the Subject Property. Developer provided the Village with a Landscape Plan which included a tree survey and tree preservation plan. The Village subsequently provided Developer with a Landscape Plan review letter prepared by Rolf C. Campbell & Associates dated June 26, 2024. Village acknowledges and agrees that none of the trees being removed are "protected" trees,

and no replacements trees are required. Developer agrees to complete tree removal and construct the Project in compliance with the Landscape Plan;

c. Developer shall be issued building permits to construct up to three (3) homes for Phase 5 and three (3) homes for Phase 6 on the Subject Property prior to completion of roads and utilities provided:

i. Such construction is undertaken at Developer's risk;

ii. Developer has constructed a twelve-foot (12') wide, six-inch (6") thick gravel road, constructed of compacted aggregate base course, to that portion(s) of the Subject Property that is under development, which road shall be subject to final inspection and approval by the Village Engineer and fire district;

iii. Developer has constructed a water main that is operational for firefighting purposes to that portion(s) of the Subject Property that is under development;

iv. Developer has constructed Storm Sewer Facilities (including any detention/retention facilities, and related structures) for the subject lot that the home is located on; and

v. Developer shall not undertake any such construction activities until the Village Engineer has inspected the placement of the soil erosion and sediment control plan and construction fence as per the Engineering Plan.

d. Except as identified herein, no certificates of occupancy shall be issued for homes, including speculative ("spec") homes, until the following Improvements have been installed and inspected:

- i. Street Paving (including curb gutter and sidewalk and all finished grading and restoration within the right- of-way) for the subject lot that the home is located on;
  - ii. Water Distribution and Sanitary Sewer Facilities, including off-site Improvements (and all appurtenances thereto) for the phase of the development that the home is located on;
  - iii. Parkway Landscaping, Parkway Trees and Outlot Landscaping or sufficient security posted to guarantee the installation of the same (which may be a part of the security posted for the Improvements to be completed under Section 9 hereof);
  - iv. Street Signs and Street Lights for the phase of the street that the home is located on; and
  - v. Any and all restoration work attendant to any of the above or sufficient security posted to guarantee the completion of the same (which may be a part of the security posted for the Improvements to be completed under Section 9 hereof).
- e. Notwithstanding the foregoing, Developer's inability, due to adverse weather conditions, to install driveways, service walks, sidewalks, stoops, landscaping and final grading shall not delay the issuance of a temporary certificate of occupancy provided Developer delivers security to Village to assure the completion of said unfinished items;

- f. The final lift of hot mix asphalt surface course for each phase shall be installed no earlier than the completion of seventy percent (70%) of the homes in each Phase 5 and Phase 6, but no later than four (4) years from the date of this Agreement.

25. **IMPROVEMENT COMPLETION.** Completion of Improvements other than water and sanitary sewer facilities shall be determined by the Village Engineer, in his/her reasonable opinion; and completion of the water and sanitary sewer facilities shall be determined by Aqua's approval or acceptance of such facilities.

26. **PHASE COMPLETION.** Notwithstanding any provision contained herein to the contrary, all Improvements for each phase of development, except for driveway aprons, parkway trees and landscaping for individual lots which do not then have completed homes on them, shall be completed for each phase no later than four (4) years from and after the date of the first building permit issued for each respective phase. If work relating to the Improvements is not completed within the time prescribed herein, the Village shall have the right, but not the obligation, to require completion by drawing on the respective Surety, in addition to any other available remedies.

27. **IMPROVEMENTS.** Upon completion of all Improvements other than water and/or sanitary sewer (collectively, such other Improvements being the "Improvements") for a specific phase and, further, upon the submission to the Village of a certificate from the engineering firm employed by Developer stating that the said category of Improvements for such phase has been completed in conformance with this Agreement, the Village Code (as modified by the Departures accepted by the Village), the Final Engineering Plan and specifications relative thereto, any applicable agreements and all State and Federal laws and standards, the Village Engineer shall, within sixty (60) days after the Village receives the aforesaid certification from the Developer's engineer, either (i) recommend to the Village's corporate authorities Final Approval of said Improvements, or (ii) designate in writing

to Developer all corrections or alterations which shall be required to obtain a recommendation of Final Approval of said Improvements, specifically citing sections of the Final Engineering Plan and specifications, the Village Code or this Agreement, any applicable agreement or State or Federal law or standard, relied upon by said Village Engineer. In the event of a conflict between the Final Engineering Plan, the Village Code, and this Agreement, the Final Engineering Plan shall prevail. Should the Village Engineer reject any Improvement, or any portion or segment thereof, for a recommendation of Final Approval, the Developer shall cause to be made to such Village Improvement such corrections or modifications as may be reasonably required by the Village Engineer. The Developer shall cause the Village Improvements to be submitted and resubmitted as herein provided until the Village Engineer shall recommend Final Approval of same to the corporate authorities of the Village and the corporate authorities shall approve same.

Aqua shall determine when the water and sanitary sewer facilities are complete; and Aqua's approval or acceptance of same shall be deemed completion of such facilities, for purposes of this Agreement in combination with the IEPA Operating Permit. The Developer shall provide documentation to the Village confirming water and sanitary sewer approval or acceptance by Aqua within thirty (30) days.

28. **MAINTENANCE**. The Developer shall be responsible for the maintenance of the Improvements until such time as Final Approval of the Improvements by the Village. Such maintenance shall be sufficient to render the Improvements required by Section 2 of this Agreement, compliant with the Development Plans identified by Section 3 at the time of their Final Approval by the Village. The Developer shall be responsible for the maintenance of the sanitary sewer and watermain facilities until such time they are finally accepted and turned over to Aqua.

29. **GUARANTY/MAINTENANCE SURETY.** The Developer guarantees that the workmanship and materials furnished under the final Development Plans and used in said Improvements will be furnished and performed in accordance with well-known established practices and standards recognized by engineers in the trade. All Improvements shall be new and of the best grade of their respective kinds for the purpose. All materials and workmanship in an Improvement subject to Final Approval by the Village shall be guaranteed by the Developer for a period of twelve (12) months from the date of Final Approval.

To partially secure the Developer's guarantee, at the time or times of Final Approval by the Village of the installation of any Improvements in accordance with this Agreement, Developer shall deposit with the Village a maintenance surety in the form of a letter of credit or bond in the amount of ten percent (10%) of the actual cost of the Improvements subject to Final Approval by the Village ("**Maintenance Surety**"). The Maintenance Surety shall be deposited with the Village and shall be held by the Village for a period of twelve (12) months after Final Approval of the Improvements and shall not be released without approval of the Village. Approval by the Village includes an inspection prior to the end of the twelve (12) months, the completion of a deficiency list, the repair or correction of all items on deficiency list, and a follow up inspection to determine the items have been addressed with approval in writing from the Village. No Maintenance Surety shall be required for water and/or sanitary sewer facilities, because, upon their acceptance by Aqua, Aqua shall be obligated, by Commerce Commission regulation, to maintain such facilities. Similarly, because Aqua is a regulated public utility that has the obligation to maintain the water and sanitary sewer facilities, upon their acceptance by Aqua, the Village shall not impose a special service area for water and/or sanitary sewer within the Subject Property; and this provision shall survive the termination of this Agreement.

Notwithstanding anything to the contrary in this Agreement, upon release of the Maintenance Surety, the Developer shall have no continued obligation to the Village.

The Developer shall make or cause to be made at its own expense, any and all repairs which may become necessary under and by virtue of this contract guarantee and shall leave the Improvements in good and sound condition, satisfactory to the Village and the Village Engineer, at the expiration of the guarantee period. In said event as Developer delivers the Improvements in good and sound condition, satisfactory to the Village and Village Engineer, and at the expiration of such guarantee period, said Maintenance Surety shall be returned to the Developer.

If during said guarantee period, any Improvement shall require any repairs or renewals, in the opinion of the Village Engineer, as identified in deficiency list referenced previously, necessitated by reason of settlement of public improvements, structure or backfill, or other defective workmanship or materials, the Developer shall, upon notification by the Village Engineer of necessity for such repairs or renewals, make such repairs or renewals, at its own cost and expense. Should the Developer fail to make such repairs or renewals within the time specified in such notification, the Village may cause such work to be done, either by contract or otherwise, and the Village may draw upon the relevant Maintenance Surety to pay the entire cost or expense thereof, including attorneys' fees and consultants' costs. Should such cost or expense exceed the amount set forth in said Maintenance Surety, the Developer will remain liable for any additional cost or expense incurred in the correction process. The Maintenance Surety shall not be released without approval of the Village.

Prior to final approval by the Village, the Developer shall furnish the Village with copies of lien waivers showing that all persons who have done work, or have furnished materials under this Agreement and are entitled to a lien therefor under any laws of the State of Illinois, have been fully paid or are no longer entitled to such lien.

30. **DAMAGE TO IMPROVEMENTS.** Developer shall be responsible for any and all damage to the Improvements caused by Developer or Developer's representatives during the land development and construction of homes in the Project irrespective of whether the Improvements damaged have received Final Approval hereunder. Developer shall replace and repair damage to the Improvements installed within, under or upon the Subject Property resulting from construction activities by Developer, its employees, agents, contractors or subcontractors during the term of this Agreement, but shall not be deemed hereby to have released any other party from liability or obligation in this regard.

31. **NOTICE OF BREACH.** In the event of a material breach of this Agreement, the Developer and Village agree that the party alleged to be in breach shall have thirty (30) days' notice of said breach to correct the same prior to the non-breaching party's seeking any remedy provided for herein (provided, however, that said thirty (30) day period shall be extended if the defaulting party has initiated the cure of said default and is diligently proceeding to cure the same).

32. **DEFAULT.** Upon expiration of the thirty (30) day notice and cure period after the date on which the Village Engineer notifies the Developer, in writing, that the Developer is in default of any of its obligations under this Agreement, and in the event the Village prevails, the Developer shall pay to the Village, upon demand, all of the Village's fees, costs and expenses incurred in enforcing the provisions of this Agreement against Developer, including, without limitation, engineers' and attorneys' fees, costs and expenses, and, if any litigation is filed and the Village prevails as part of such enforcement, any court costs and filing fees.

33. **RIGHTS AND REMEDIES.** The rights and remedies of the Village as provided herein, in the ordinances of the Village and/or in any agreements between the Village and Developer regarding the Project, shall be cumulative and concurrent, and may be pursued singularly,

successively, or together, at the sole discretion of the Village, and may be exercised as often as occasion therefor shall arise. Failure of the Village, for any period of time or on more than one occasion, to exercise such rights and remedies shall not constitute a waiver of the right to exercise the same at any time thereafter or in the event of any subsequent default. No act of omission or commission of the Village, including specifically any failure to exercise any right, remedy or recourse, shall be deemed to be a waiver or release of the same; any such waiver or release to be effected only through a written document executed by the Village and then only to the extent specifically recited therein. A waiver or release with reference to any one event shall not be construed as a waiver or release of any subsequent event or as a bar to any subsequent exercise of the Village's rights or remedies hereunder. Except as otherwise specifically required, notice of the exercise of any right or remedy granted to the Village is not required to be given.

34. **ASSIGNABILITY**. This Agreement shall be binding upon and inure to the successors and assigns of the parties to this Agreement. Notwithstanding the foregoing, this Agreement shall not be assigned by either party hereto without the prior written consent of the other party to this Agreement, which consent shall not be unreasonably withheld. Provided that Developer has obtained the Village's written consent to an assignment, the assignee shall assume all of the obligation of the Developer as set forth in this Agreement and the Developer shall have no continuing obligation hereunder.

35. **SEVERABILITY**. The invalidity of any provision of this Agreement shall not impair the validity of any other provision. If any provision of this Agreement is determined by a court of competent jurisdiction to be unenforceable, that provision will be deemed severable and this Agreement may be enforced with that provision severed or as modified by the court.

36. **CONFLICT WITH VILLAGE CODE, ORDINANCES, AND RULES.** This Agreement sets forth an agreement of the parties insofar as it specifically contradicts, modifies or amplifies any provision of the Village Code. In the event of a conflict between this Agreement and Village Code, this Agreement shall prevail. To the extent that this Agreement and/or the departures accepted by the Village do not address an applicable provision of the Village Code, the Village Code shall continue to control the parties' activities contemplated by this Agreement regardless of the fact that the Village Code has not been addressed within the specific terms of this Agreement.

Excluding all federal rules, regulations, and codes over which the Village has no authority, if during the term of this Agreement, the provisions of any existing Village ordinances, codes, rules or regulations are amended or modified so as to impose additional or stricter requirements upon the construction of the Subject Property, or the construction of dwelling units or other improvements thereon or in connection therewith, which are more stringent than those existing as of the Effective Date, such amendment or modification shall not be effective as applied to the Subject Property for a period of five (5) years from the Effective Date set forth above.

37. **MORATORIUM ON CONSTRUCTION.** No moratorium on construction of new residential dwelling units in the Village shall be applicable to the Subject Property for the term of the Agreement.

38. **TERM.** This Agreement shall be in full force and effect for twenty (20) years from the Effective Date set forth above. In the event the Developer does not close on the property within three (3) months from the Effective Date set forth, this agreement shall be null and void.

39. **CHOICE-OF-LAW.** This Agreement shall be interpreted and construed in accordance with the laws of the State of Illinois.

40. **NOTICES.** All notices hereunder shall be in writing and must be served either personally or by registered or certified mail to:

**Village at:**

Village of Hawthorn Woods  
ATTN: Chris Heinen  
2 Lagoon Drive  
Hawthorn Woods, Illinois 60047

**With a Copy to:**

Patrick Brankin, Village Attorney  
Schain, Banks, Kenny & Schwartz, Ltd.  
70 W. Madison Street, Suite 5400, Chicago, IL 60602  
pbrankin@schainbanks.com

**Developer at:**

M/I Homes of Chicago, LLC  
Attn.: Land Development Project Manager - Illinois Division  
2135 City Gate Ln. #620  
Naperville, Illinois 60563

**With a Copy to:**

Russell Whitaker, III  
Rosanova & Whitaker, Ltd.  
445 Jackson Ave, Suite #200  
Naperville, IL 60540

41. **COUNTERPARTS.** This Agreement is executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

42. **THIRD PARTY BENEFICIARY RIGHTS.** This Agreement shall not confer rights or benefits, including third-party beneficiary rights or benefits to anyone that is not a named party to this Agreement, including any individual, corporation, partnership, trust, association,

unincorporated organization, governmental organization or agency or political subdivision. Any and all third-party beneficiary rights are expressly negated.

IN WITNESS WHEREOF, the parties hereto have set their hands and seals on the date first above written.



ATTEST:

Jane Roberts

VILLAGE OF HAWTHORN WOODS,  
an Illinois municipal corporation,

By: [Signature]

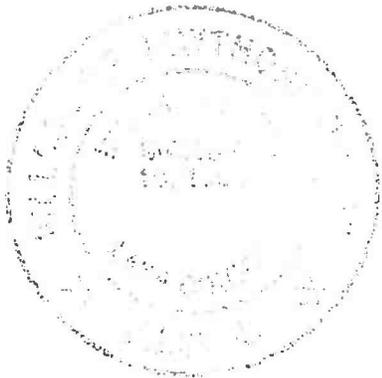
DEVELOPER

M/I Homes of Chicago, LLC

By: \_\_\_\_\_

unincorporated organization, governmental organization or agency or political subdivision. Any and all third-party beneficiary rights are expressly negated.

IN WITNESS WHEREOF, the parties hereto have set their hands and seals on the date first above written.



VILLAGE OF HAWTHORN WOODS,  
an Illinois municipal corporation,

By: [Signature]

ATTEST:

[Signature]

DEVELOPER

M/I Homes of Chicago, LLC

By: [Signature]

STATE OF ILLINOIS        )  
  ) SS.  
COUNTY OF LAKE        )

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Richard J Champine, personally known to me to be the same person whose name is subscribed to the foregoing instrument as Area President of M/I Homes of Chicago, LLC, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act and as the free and voluntary act of such corporation, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this 10 day of December,  
2024



  
\_\_\_\_\_  
Notary Public

STATE OF ILLINOIS        )  
  ) SS.  
COUNTY OF LAKE        )

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Dominick DiMaggio, Mayor of the VILLAGE OF HAWTHORN WOODS, and Donna Lobaito, Village Clerk of said Village, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such Mayor and Village Clerk, respectively, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said Village, for the uses and purposes therein set forth; and the said Village Clerk then and there acknowledged that she, as custodian of the corporate seal of said Village, did affix the corporate seal of said Village to said instrument, as her own free and voluntary act and as the free and voluntary act of said Village, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this 9<sup>th</sup> day of December,  
2024

Amy K. Belmonte

Notary Public



**Exhibit A**  
**Legal Description – SF Lots**

**LEGAL DESCRIPTION OF HAWTHORN WOODS COUNTRY CLUB PHASE 5**

LOTS 331 THRU 348 AND OUTLOT T1 IN HAWTHORN WOODS COUNTRY CLUB PHASE 5, BEING A RESUBDIVISION OF OUTLOT GG AND OUTLOT JJ IN HAWTHORN WOODS COUNTRY CLUB PHASE 2 RECORDED AS DOCUMENT 5804408, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 6323454, IN LAKE COUNTY, ILLINOIS.

**LEGAL DESCRIPTION OF HAWTHORN WOODS COUNTRY CLUB PHASE 6**

OUTLOT FF IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 5804408 IN LAKE COUNTY, ILLINOIS.

**Exhibit B**  
**Legal Description – TH Lots**

**MI Homes Townhome Lots in Phase 1:**

LOTS 590, 591 & 592 IN HAWTHORN WOODS COUNTRY CLUB PHASE 1, BEING A SUBDIVISION IN PART OF SECTIONS 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT THEREOF RECORDED JULY 30, 2004 AS DOCUMENT NUMBER 5613059 AND CORRECTED BY CERTIFICATE OF CORRECTIONS RECORDED AS DOCUMENT NUMBER 5662935 AND 5702346 IN LAKE COUNTY, ILLINOIS.

**MI Homes Townhome Lots in Phase 2:**

LOTS 492, 493, 494 & 495 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH , RANGE 10, AND PART OF SECTIONS 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT RECORDED ON JUNE 23, 2005 AS DOCUMENT NUMBER 5804408 IN LAKE COUNTY, ILLINOIS.

LOTS 522, 523, 524 & 525 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH , RANGE 10, AND PART OF SECTIONS 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT RECORDED ON JUNE 23, 2005 AS DOCUMENT NUMBER 5804408 IN LAKE COUNTY, ILLINOIS.

LOTS 526, 527, & 528 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH , RANGE 10, AND PART OF SECTIONS 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT RECORDED ON JUNE 23, 2005 AS DOCUMENT NUMBER 5804408 IN LAKE COUNTY, ILLINOIS.

LOTS 529, 530, & 531 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH , RANGE 10, AND PART OF SECTIONS 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33,

TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT RECORDED ON JUNE 23, 2005 AS DOCUMENT NUMBER 5804408 IN LAKE COUNTY, ILLINOIS.

LOTS 532, 533, 534 & 535 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH , RANGE 10, AND PART OF SECTIONS 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT RECORDED ON JUNE 23, 2005 AS DOCUMENT NUMBER 5804408 IN LAKE COUNTY, ILLINOIS.

**Exhibit C**  
**Legal Description – Fairfield Lots**

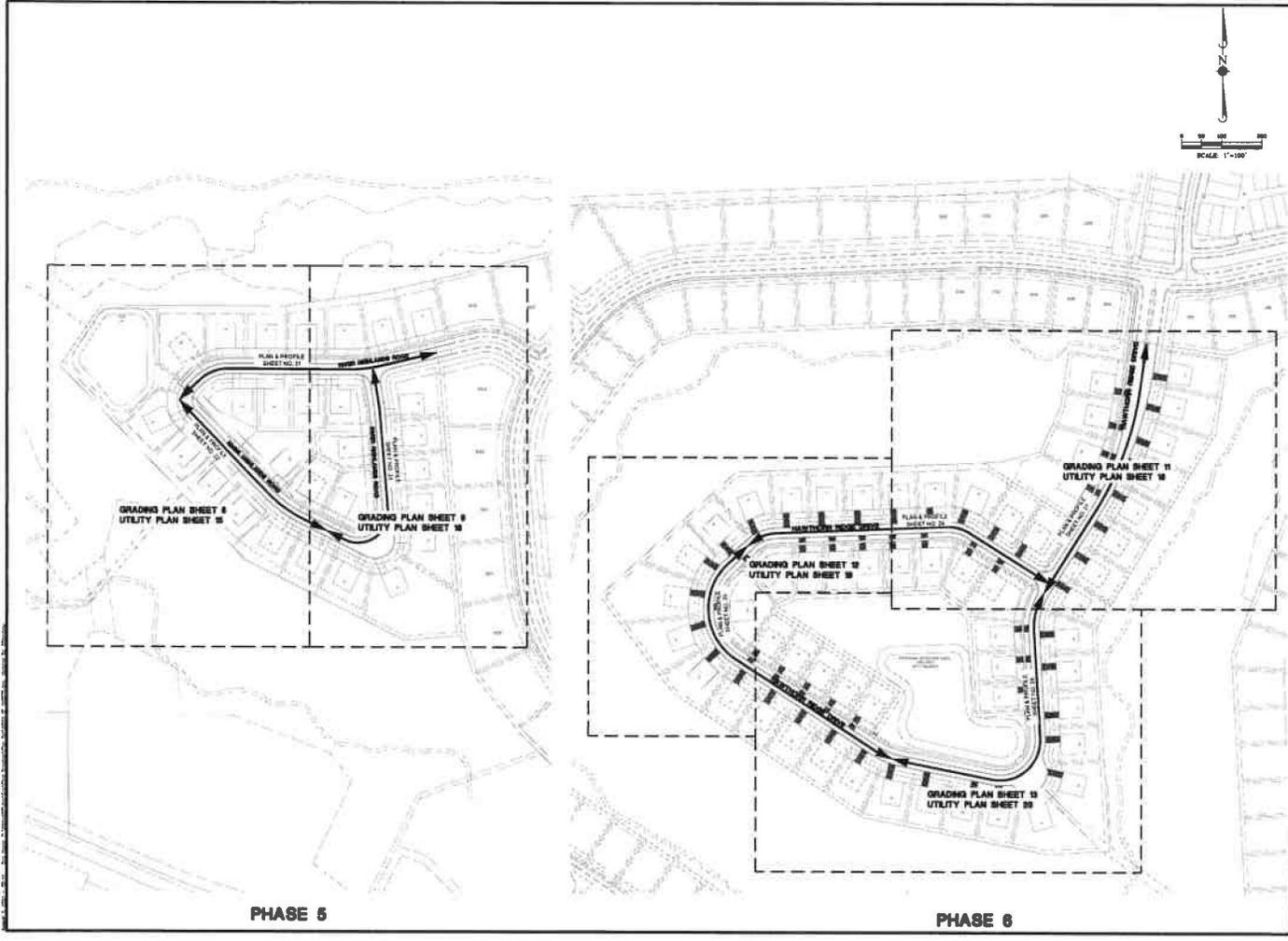
**EXHIBIT C**  
**LEGAL DESCRIPTION**

LOTS 126, 127, 128, AND LOT 129 IN THE FINAL PLAT OF SUBDIVISION OF HAWTHORN WOODS COUNTRY CLUB PHASE 3, BEING A RESUBDIVISION OF OUTLOT AA, OUTLOT BB, OUTLOT CC, OUTLOT HH AND OUTLOT KK IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LAKE COUNTY, ILLINOIS ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 5883372 AND CERTIFICATE OF CORRECTION RECORDED AS DOCUMENT 5888575.

LOTS 130 AND 131 IN THE FINAL PLAT OF SUBDIVISION OF HAWTHORN WOODS COUNTRY CLUB PHASE 4, BEING A RESUBDIVISION OF OUTLOT DD, OUTLOT EE AND OUTLOT II IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LAKE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 5925443.

**Exhibit D**  
**Engineering Plan**

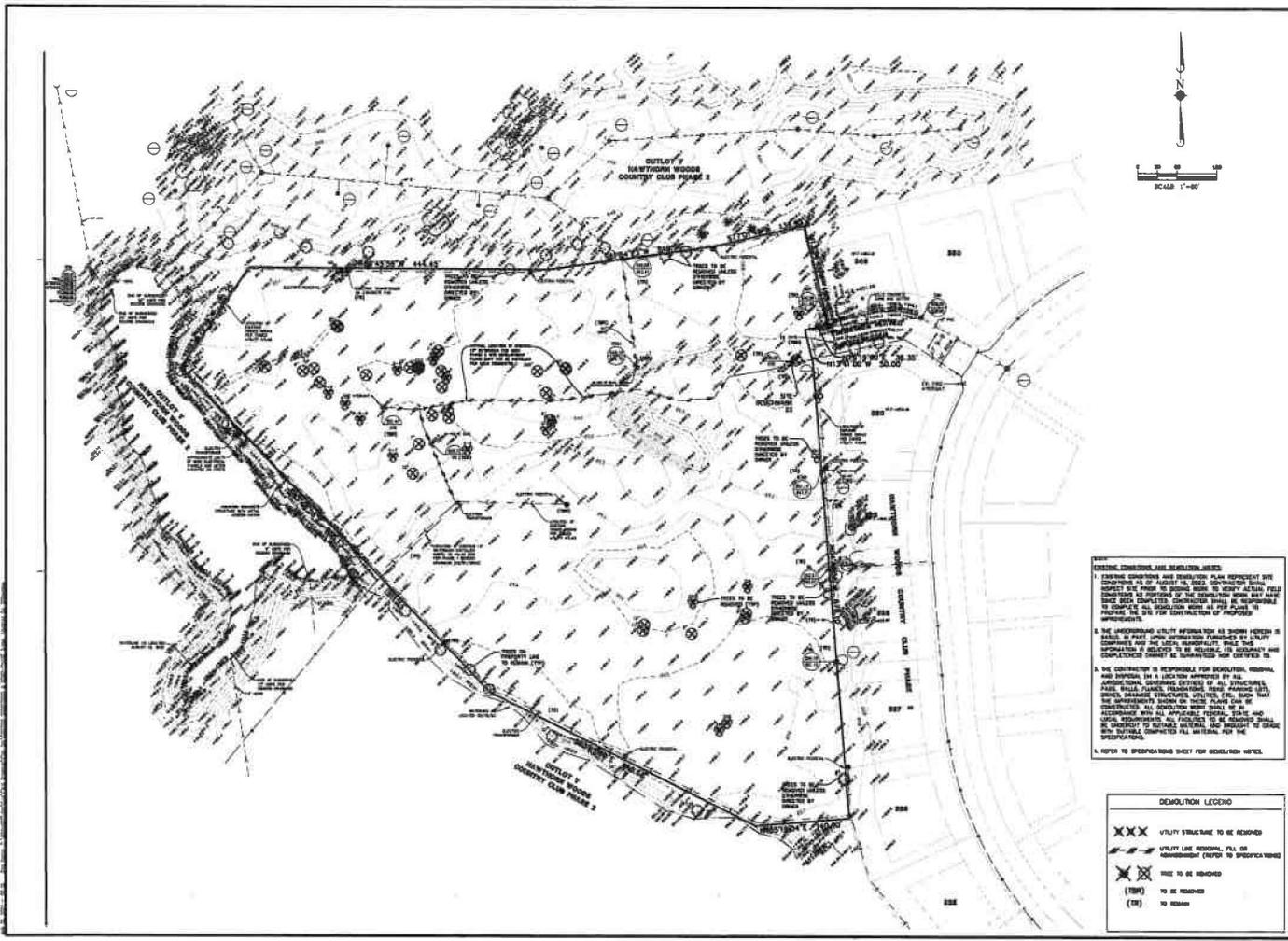




PHASE 5

PHASE 6

HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6 VILLAGE OF HAWTHORN WOODS, ILLINOIS INDEX OF SHEETS	
SHEET NO. 28 SHEET NO. 29 SHEET NO. 30 SHEET NO. 31 SHEET NO. 32	SHEET NO. 28 SHEET NO. 29 SHEET NO. 30 SHEET NO. 31 SHEET NO. 32
2 - 38 <small>DATE PLOTTED: 08/11/2010 10:58:11 AM</small>	



**EXISTING CONDITIONS AND DEMOLITION PLAN**

1. EXISTING CONDITIONS AND DEMOLITION PLAN REPRESENT SITE CONDITIONS AS OF DATE OF ISSUANCE. CONTRACTOR SHALL VERIFY ALL UTILITIES AND STRUCTURES TO BE DEMOLISHED OR RETAINED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

2. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL AND DISPOSAL IN A MANNER APPROVED BY ALL APPLICABLE AGENCIES AND AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

3. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. ALL MATERIALS TO BE REMOVED SHALL BE PROPERLY HANDLED, STORED AND TRANSPORTED TO AN APPROVED LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

4. REFER TO SPECIFICATIONS SHEET FOR DEMOLITION NOTES.

**DEMOLITION LEGEND**

XXX	UTILITY STRUCTURES TO BE REMOVED
XXXX	UTILITY LINE REMOVAL, FULL OR PARTIAL (REFER TO SPECIFICATIONS)
X	TO BE REMOVED
(TR)	TO BE REMOVED
(R)	TO REMAIN

**Manhard CONSULTING**

HAWTHORN WOODS COUNTRY CLUB - PHASES 8 AND 9  
 VILLAGE OF HAWTHORN WOODS, ILLINOIS  
 EXISTING CONDITIONS & DEMOLITION PLAN - PHASE 5

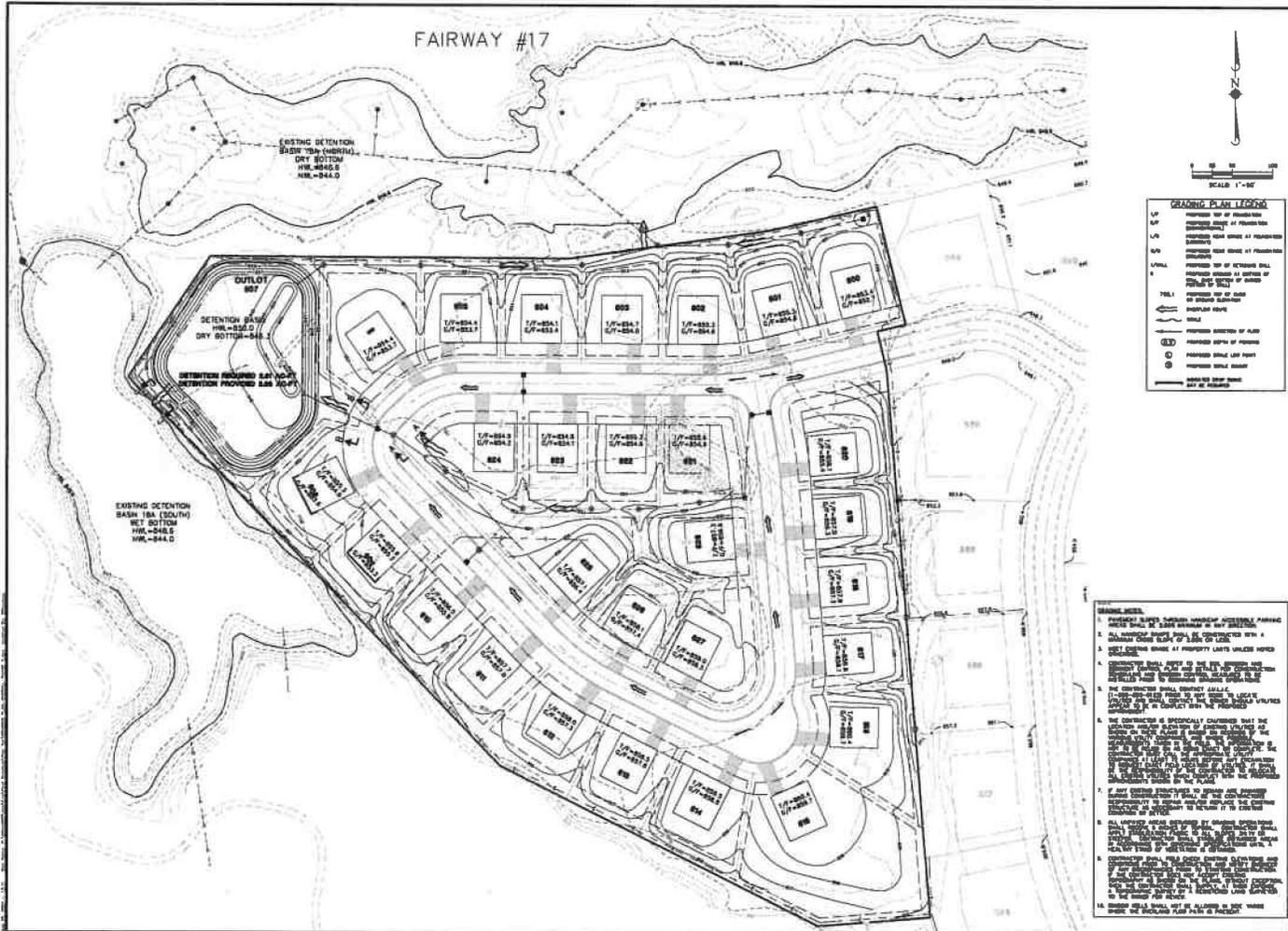
38  
 38







FAIRWAY #17







SEE SHEET 8

SHEET	9
OF	38
DATE	8/22/14
SCALE	1"=30'

HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6  
 VILLAGE OF HAWTHORN WOODS, ILLINOIS  
 GRADING PLAN EAST - PHASE 5

**Manhard CONSULTING**  
 700 Dempster Drive, Lincoln, IL 62556  
 618-291-1234  
 Fax: 618-291-1235  
 www.manhardconsulting.com

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	8/22/14
2	REVISED	8/22/14
3	REVISED	8/22/14
4	REVISED	8/22/14
5	REVISED	8/22/14
6	REVISED	8/22/14
7	REVISED	8/22/14
8	REVISED	8/22/14
9	REVISED	8/22/14
10	REVISED	8/22/14

PENDING APPROVAL





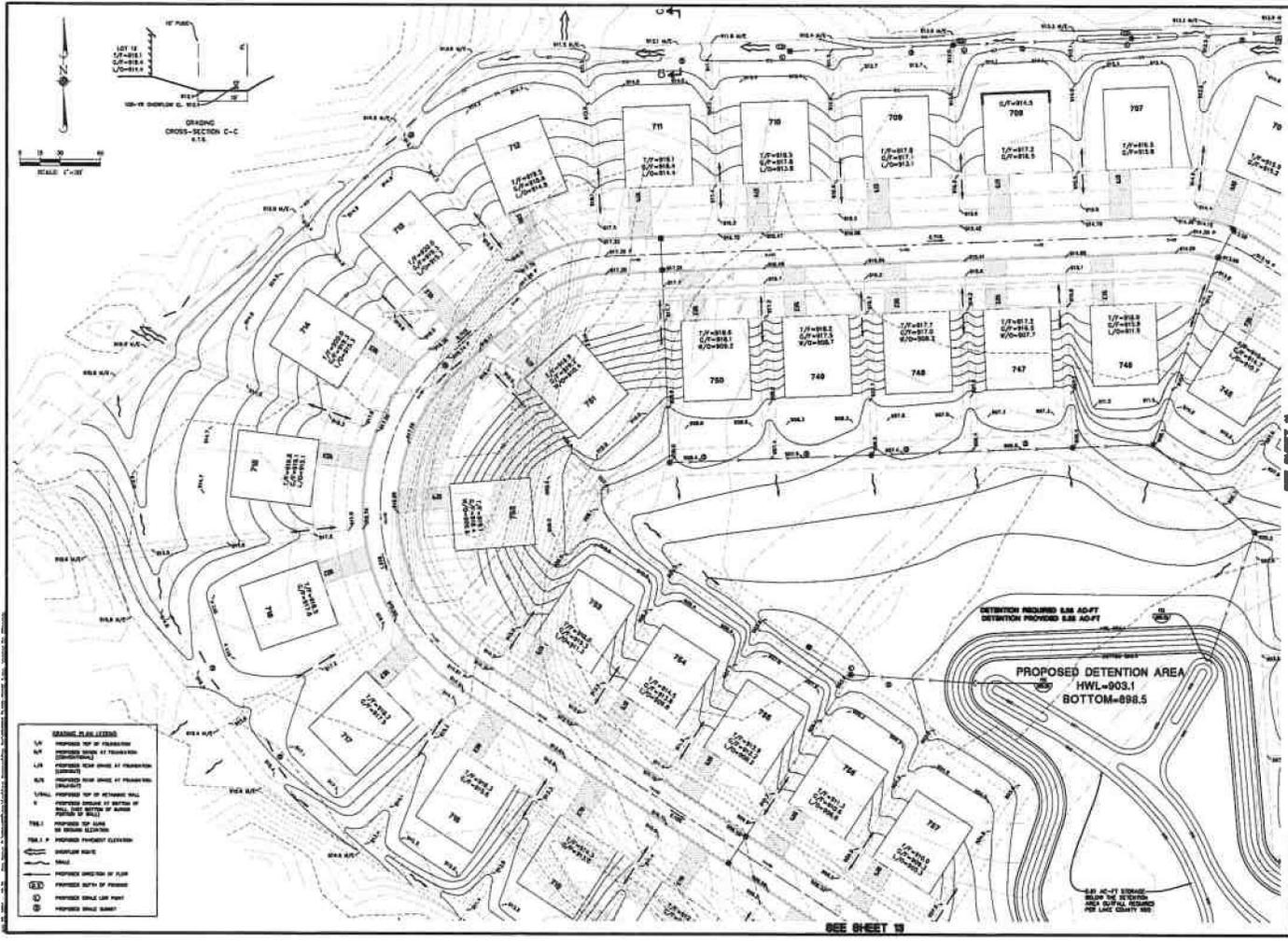
**GRADING SYMBOLS**

- Proposed top of finished ground
- Proposed grade of finished ground
- Proposed spot grade at proposed building
- Proposed spot grade at proposed structure
- Proposed top of structure walls
- Proposed bottom of structure at center of gravity of column
- Proposed top of structure walls at outside corners
- Proposed finished surface
- Proposed slope
- Proposed drainage of plan
- Proposed slope of plan
- Proposed spot grade
- Proposed spot grade
- Proposed spot grade

**Manhard CONSULTING**

HAWTHORN WOODS COUNTRY CLUB - PHASES 6 AND 6A  
VILLAGE OF HAWTHORN WOODS, ILLINOIS  
GRADING PLAN NORTH - PHASE 6

**11-38**  
SHEET

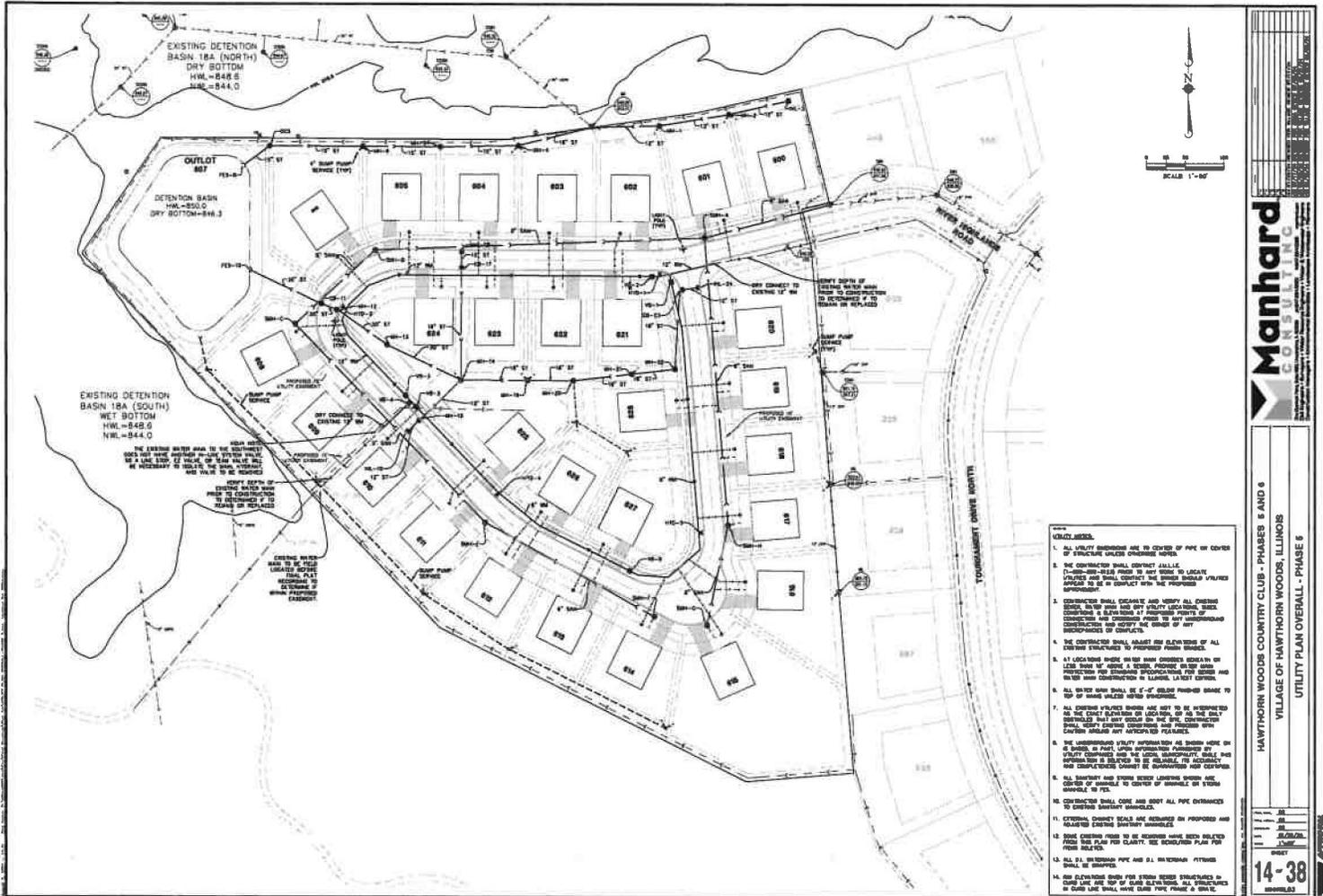


**Manhard**  
CONSULTING

HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6  
VILLAGE OF HAWTHORN WOODS, ILLINOIS  
GRADING PLAN WEST - PHASE 6

12-38





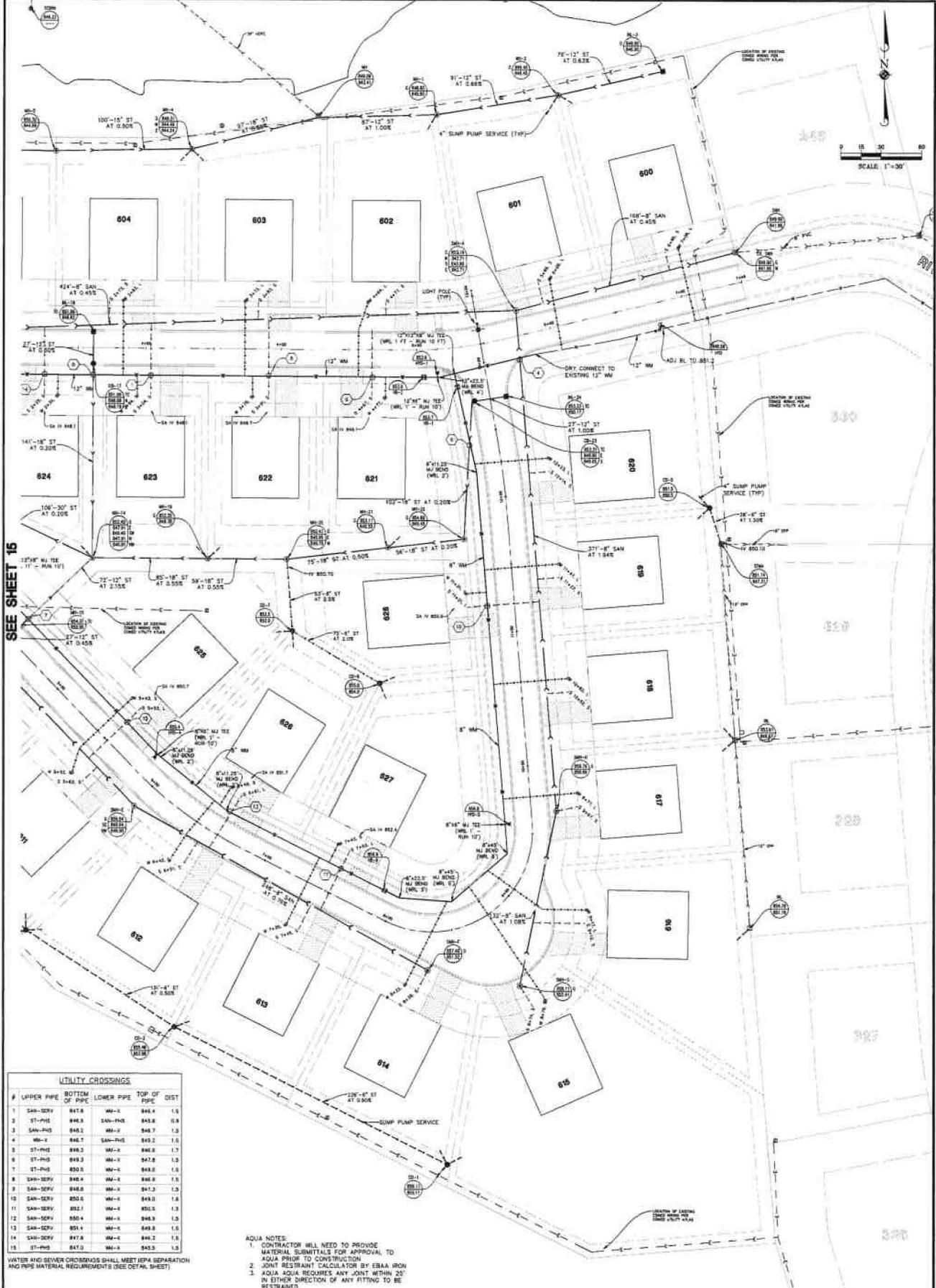
- UTILITY NOTES**
1. ALL UTILITY STRUCTURES ARE TO BE COVERED BY PIPE OR COVER OF STRUCTURE UNLESS OTHERWISE NOTED.
  2. THE CONTRACTOR SHALL VERIFY ALL EXISTING 12" AND 18" DIAMETER PIPES TO BE RELOCATED TO THE PROPOSED LOCATIONS AND SHALL CONTACT THE APPROPRIATE AGENCIES TO VERIFY THE PROPOSED LOCATIONS.
  3. CONTRACTOR SHALL VERIFY AND VERIFY ALL EXISTING PIPES TO BE RELOCATED TO THE PROPOSED LOCATIONS AND SHALL CONTACT THE APPROPRIATE AGENCIES TO VERIFY THE PROPOSED LOCATIONS.
  4. THE CONTRACTOR SHALL VERIFY AND VERIFY ALL EXISTING PIPES TO BE RELOCATED TO THE PROPOSED LOCATIONS AND SHALL CONTACT THE APPROPRIATE AGENCIES TO VERIFY THE PROPOSED LOCATIONS.
  5. AT LOCATIONS WHERE THE PIPE CROSSING EXISTING OR NEW PIPES OF OTHER MATERIALS, THE CONTRACTOR SHALL VERIFY AND VERIFY ALL EXISTING PIPES TO BE RELOCATED TO THE PROPOSED LOCATIONS AND SHALL CONTACT THE APPROPRIATE AGENCIES TO VERIFY THE PROPOSED LOCATIONS.
  6. ALL EXISTING PIPES SHALL BE 6" OF BENCH MARKED TO TOP OF BENCH MARK UNLESS OTHERWISE NOTED.
  7. ALL EXISTING PIPES SHALL BE 6" OF BENCH MARKED TO TOP OF BENCH MARK UNLESS OTHERWISE NOTED.
  8. THE CONTRACTOR SHALL VERIFY AND VERIFY ALL EXISTING PIPES TO BE RELOCATED TO THE PROPOSED LOCATIONS AND SHALL CONTACT THE APPROPRIATE AGENCIES TO VERIFY THE PROPOSED LOCATIONS.
  9. ALL EXISTING PIPES SHALL BE 6" OF BENCH MARKED TO TOP OF BENCH MARK UNLESS OTHERWISE NOTED.
  10. CONTRACTOR SHALL VERIFY AND VERIFY ALL EXISTING PIPES TO BE RELOCATED TO THE PROPOSED LOCATIONS AND SHALL CONTACT THE APPROPRIATE AGENCIES TO VERIFY THE PROPOSED LOCATIONS.
  11. CONTRACTOR SHALL VERIFY AND VERIFY ALL EXISTING PIPES TO BE RELOCATED TO THE PROPOSED LOCATIONS AND SHALL CONTACT THE APPROPRIATE AGENCIES TO VERIFY THE PROPOSED LOCATIONS.
  12. CONTRACTOR SHALL VERIFY AND VERIFY ALL EXISTING PIPES TO BE RELOCATED TO THE PROPOSED LOCATIONS AND SHALL CONTACT THE APPROPRIATE AGENCIES TO VERIFY THE PROPOSED LOCATIONS.
  13. ALL 24" DIAMETER PIPES AND ALL 36" DIAMETER FITTINGS SHALL BE BRONZE.
  14. ALL EXISTING PIPES FOR STORM SEWER STRUCTURES TO BE RELOCATED TO THE PROPOSED LOCATIONS AND SHALL CONTACT THE APPROPRIATE AGENCIES TO VERIFY THE PROPOSED LOCATIONS.

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HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6  
VILLAGE OF HAWTHORN WOODS, ILLINOIS  
UTILITY PLAN OVERALL - PHASE 6

**14-38**





SEE SHEET 16

UTILITY CROSSINGS					
#	UPPER PIPE	BOTTOM OF PIPE	LOWER PIPE	TOP OF PIPE	DIST
1	6" SAN-SERV	847.8	WW-3	846.4	1.4
2	12" ST-PH	848.8	SAN-PH	846.8	0.8
3	6" SAN-PH	848.0	WW-3	846.7	1.3
4	6" WW-3	846.7	SAN-PH	845.2	1.5
5	12" ST-PH	848.0	WW-3	846.6	1.4
6	12" ST-PH	848.0	WW-3	847.8	1.3
7	12" ST-PH	850.3	WW-3	849.8	1.5
8	6" SAN-SERV	846.8	WW-3	846.9	1.9
9	6" SAN-SERV	848.8	WW-3	847.3	1.5
10	6" SAN-SERV	850.0	WW-3	849.0	1.0
11	6" SAN-SERV	852.7	WW-3	850.0	1.3
12	6" SAN-SERV	850.4	WW-3	848.9	1.5
13	6" SAN-SERV	851.4	WW-3	849.8	1.6
14	6" SAN-SERV	847.8	WW-3	846.2	1.6
15	12" ST-PH	847.0	WW-3	845.3	1.7

WATER AND SEWER CROSSINGS SHALL MEET ICPA SEPARATION AND PIPE MATERIAL REQUIREMENTS (SEE DETAIL SHEET)

- AQUA NOTES:
- CONTRACTOR WILL NEED TO PROVIDE MATERIAL SUBMITTALS FOR APPROVAL, TO AQUA PRIOR TO CONSTRUCTION
  - JOINT RESTRAINT CALCULATOR BY EBAA IRON
  - AQUA AQUA REQUIRES ANY JOINT WITHIN 25' IN EITHER DIRECTION OF ANY FITTING TO BE RESTRAINED

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SHEET  
**16 of 38**

DATE: 01/22/14  
SCALE: 1"=30'

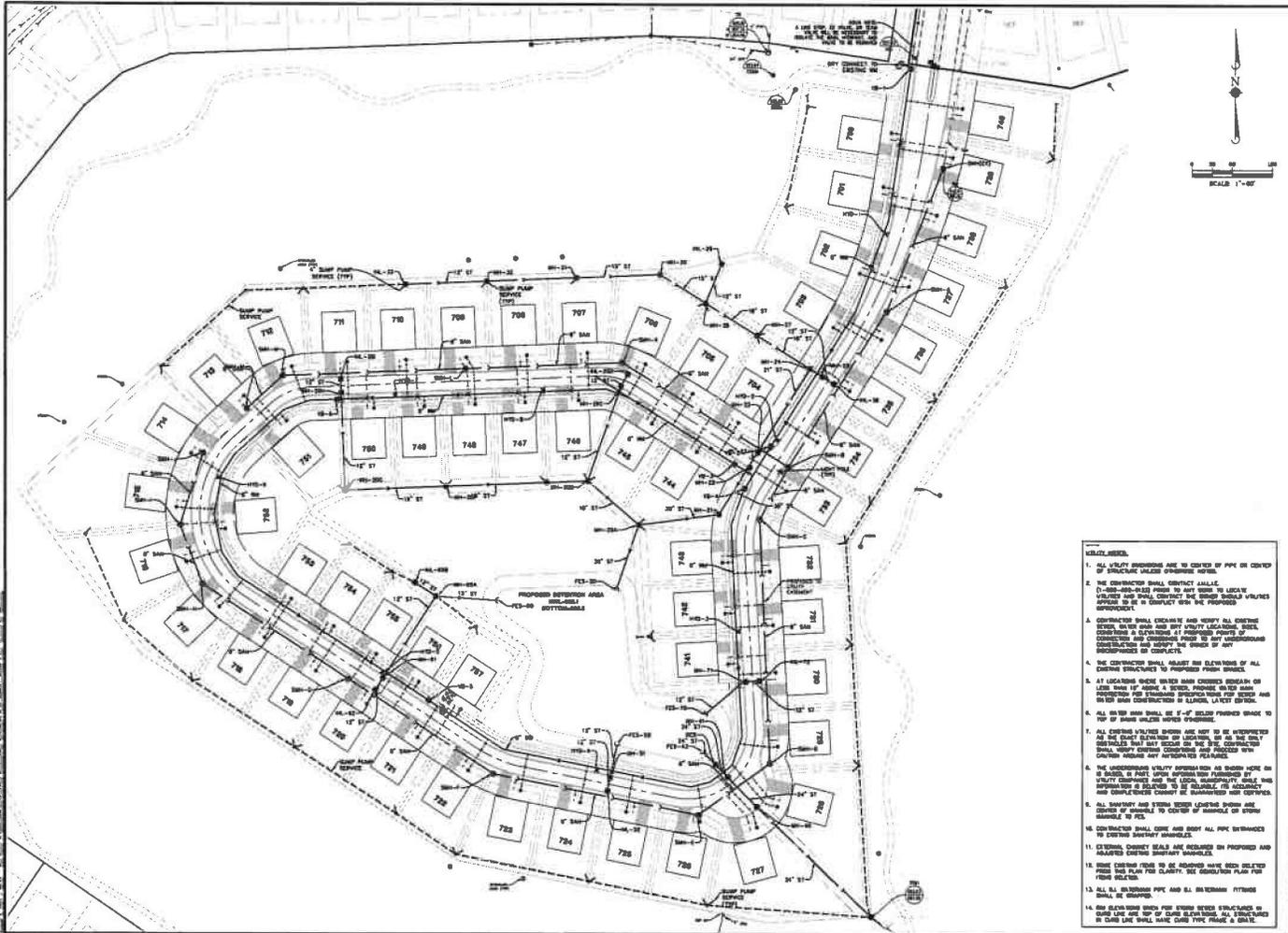
**HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6**  
**VILLAGE OF HAWTHORN WOODS, ILLINOIS**  
**UTILITY PLAN EAST - PHASE 5**

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NO.	REVISION	DATE
1	ISSUE FOR PERMITS	01/21/14
2	REVISION	01/21/14
3	REVISION	01/21/14
4	REVISION	01/21/14
5	REVISION	01/21/14
6	REVISION	01/21/14
7	REVISION	01/21/14
8	REVISION	01/21/14
9	REVISION	01/21/14
10	REVISION	01/21/14

PENDING APPROVAL

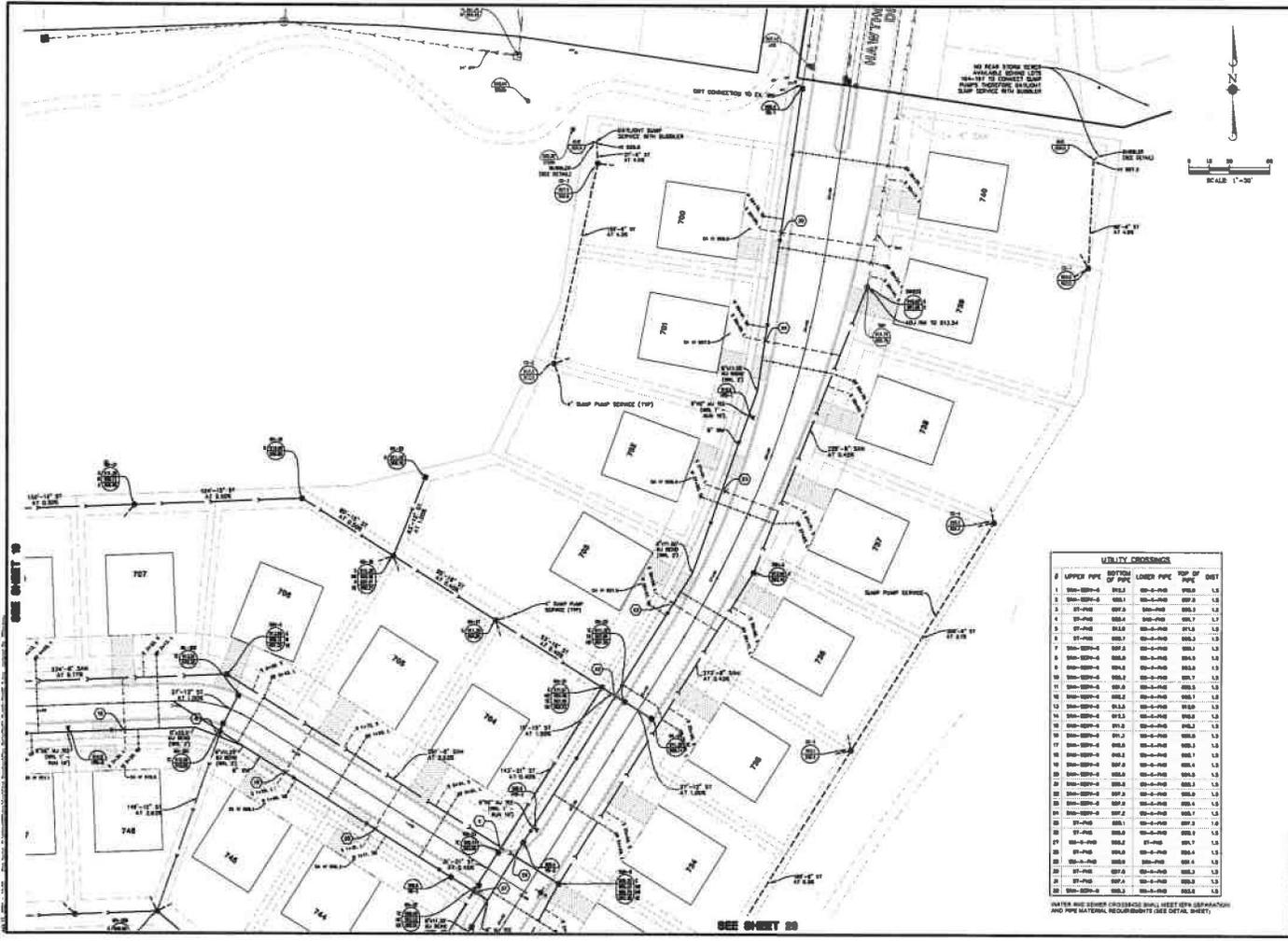


- GENERAL NOTES:**
1. ALL UTILITY DEPTHSHOWN ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
  2. THE CONTRACTOR SHALL VERIFY ALL UTILITIES (1"=40' UNLESS NOTED) PRIOR TO ANY WORK TO LOCATE, IDENTIFY AND MARK. CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN TO BE IN CONTACT WITH THE PROPOSED IMPROVEMENTS.
  3. CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING UTILITIES BEFORE ANY NEW UTILITY LOCATIONS. SHALL CONDUCT A SURVEY OF PROPOSED POINTS OF CONNECTION AND CHANGES MADE TO ANY EXISTING UTILITIES AND VERIFY THE DEPTH OF ANY DISCONTINUOUS UTILITIES.
  4. THE CONTRACTOR SHALL ADJUST THE ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED FINISH GRADE.
  5. AT LOCATIONS WHERE EXISTING ROAD CROSSING OCCUR OR CROSS OVER OF ROAD, PROPOSED ROAD SHALL BE CONSTRUCTED AND FINISHED TO EXISTING GRADE UNLESS OTHERWISE NOTED.
  6. ALL NEW ROAD SHALL BE 4'-0" WIDE FINISHED GRADE TO TOP OF ROAD UNLESS OTHERWISE NOTED.
  7. ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERFERED AS THE EXISTING UTILITIES OR LOCATIONS OF ALL THE UTILITIES SHOWN ARE NOT TO BE CHANGED. THE CONTRACTOR SHALL VERIFY EXISTING UTILITIES AND PROCEED WITH CAREFUL REGARD TO ANY UNEXPECTED FEATURES.
  8. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED ON FIELD SURVEY INFORMATION PROVIDED BY UTILITY COMPANIES AND THE LOCAL JURISDICTION. WHILE THE CONTRACTOR SHALL VERIFY THE ACCURACY, COMPLETENESS AND CORRECTNESS THEREOF, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES OF ANY KIND.
  9. ALL EXISTING AND NEW UTILITIES LOCATED SHOWN ARE TO BE INSTALLED TO CENTER OF MANHOLE OR STRUCTURE UNLESS OTHERWISE NOTED.
  10. CONTRACTOR SHALL CARE AND VERIFY ALL PIPE DIMENSIONS TO VERIFY EXISTING DIMENSIONS.
  11. EXISTING EXHIBIT SHEETS ARE REFERRED TO PROPOSED AND ADJUSTED EXHIBIT SHEETS UNLESS OTHERWISE NOTED.
  12. PIPE SHALL BE INSTALLED TO EXISTING FINISH GRADE UNLESS OTHERWISE NOTED. SEE EXHIBIT PLAN FOR PIPE SIZES.
  13. ALL 8" DIAMETER PIPE AND 8" DIAMETER FITTINGS SHALL BE STIPPED.
  14. ALL EXISTING UTILITIES FOR WHICH NEW STRUCTURES OR STRUCTURES ARE TO BE CONSTRUCTED ALL STRUCTURES IN THIS PLAN SHALL HAVE 2" DIA. PVC PIPES A MIN.

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HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6  
VILLAGE OF HAWTHORN WOODS, ILLINOIS  
UTILITY PLAN OVERALL - PHASE 6

17 - 38  
SHEET



**UTILITY CROSSINGS**

#	UPPER PIPE	BOTTOM OF PIPE	LOWER PIPE	TOP OF DUCT
1	300-030-0	01.2	00-0-000	000.1
2	300-030-0	008.1	00-0-000	007.2
3	07-000	007.0	000-000	006.2
4	07-000	006.0	000-000	005.2
5	07-000	014.0	00-0-000	013.1
6	07-000	005.7	00-0-000	004.2
7	300-030-0	007.3	00-0-000	006.2
8	300-030-0	006.0	00-0-000	005.1
9	000-000-0	000.0	00-0-000	000.0
10	300-030-0	006.2	00-0-000	005.2
11	300-030-0	009.0	00-0-000	008.1
12	300-030-0	006.2	00-0-000	005.1
13	300-030-0	013.0	00-0-000	012.0
14	300-030-0	011.0	00-0-000	010.0
15	300-030-0	011.2	00-0-000	010.2
16	300-030-0	011.7	00-0-000	010.7
17	300-030-0	008.0	00-0-000	007.1
18	300-030-0	006.2	00-0-000	005.1
19	300-030-0	007.0	00-0-000	006.1
20	300-030-0	006.0	00-0-000	005.1
21	300-030-0	006.0	00-0-000	005.1
22	300-030-0	007.0	00-0-000	006.1
23	300-030-0	007.0	00-0-000	006.1
24	300-030-0	007.0	00-0-000	006.1
25	300-030-0	007.0	00-0-000	006.1
26	07-000	006.1	00-0-000	005.1
27	07-000	006.0	00-0-000	005.1
28	07-000	006.0	00-0-000	005.1
29	07-000	006.0	00-0-000	005.1
30	07-000	006.0	00-0-000	005.1
31	07-000	006.0	00-0-000	005.1
32	07-000	006.0	00-0-000	005.1
33	07-000	006.0	00-0-000	005.1
34	07-000	006.0	00-0-000	005.1
35	07-000	006.0	00-0-000	005.1
36	07-000	006.0	00-0-000	005.1
37	07-000	006.0	00-0-000	005.1
38	07-000	006.0	00-0-000	005.1
39	07-000	006.0	00-0-000	005.1
40	07-000	006.0	00-0-000	005.1
41	07-000	006.0	00-0-000	005.1
42	07-000	006.0	00-0-000	005.1
43	07-000	006.0	00-0-000	005.1
44	07-000	006.0	00-0-000	005.1
45	07-000	006.0	00-0-000	005.1
46	07-000	006.0	00-0-000	005.1
47	07-000	006.0	00-0-000	005.1
48	07-000	006.0	00-0-000	005.1
49	07-000	006.0	00-0-000	005.1
50	07-000	006.0	00-0-000	005.1

WATER AND SEWER CROSSINGS SHALL BEET OPEN SEPARATELY AND PIPE MATERIAL REQUIREMENTS (SEE DETAIL SHEET)

SCALE 1"=30'

N

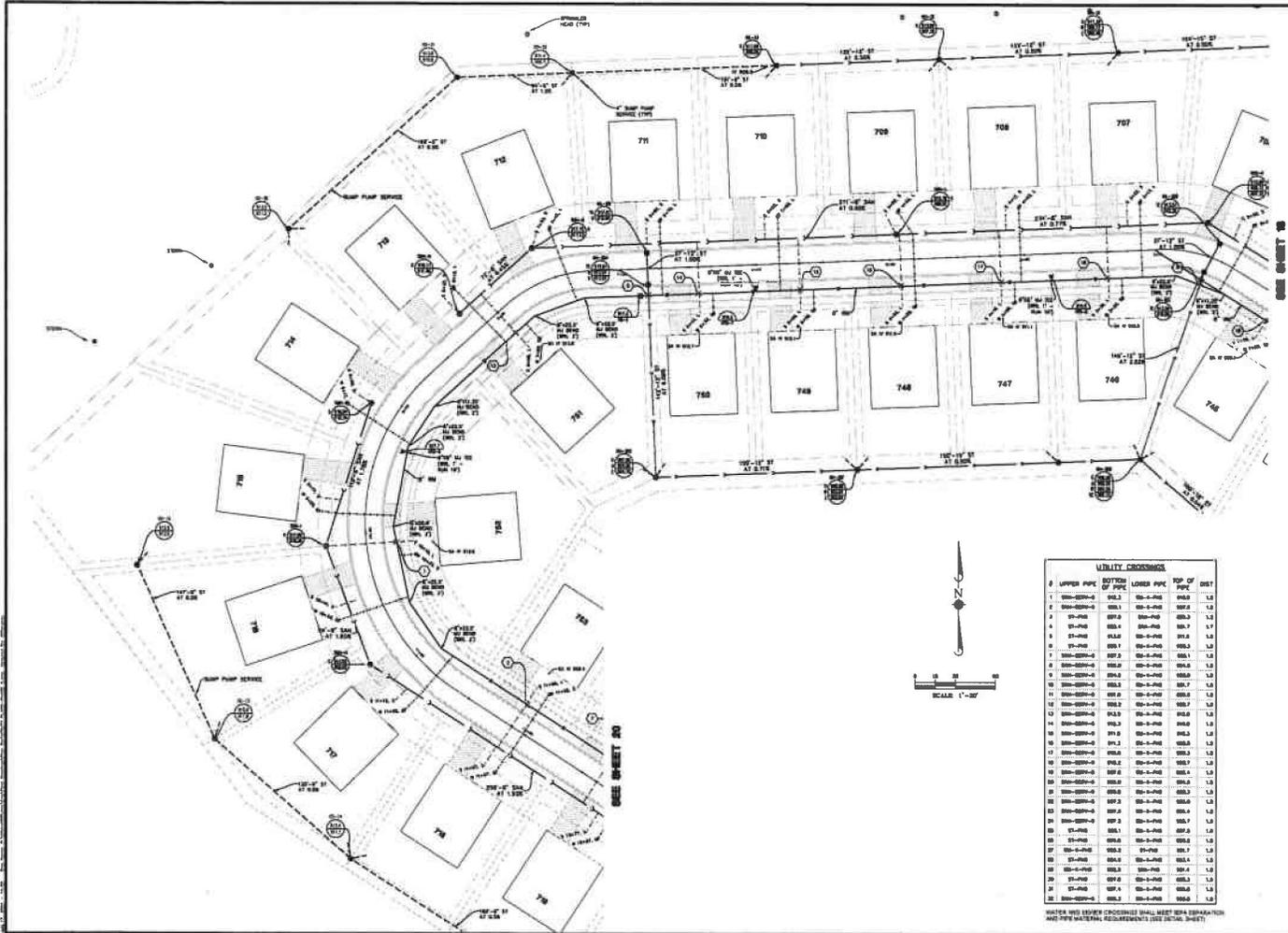
SEE SHEET 20

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HAWTHORN WOODS COUNTRY CLUB - PHASES 4 AND 5  
 VILLAGE OF HAWTHORN WOODS, ILLINOIS  
 UTILITY PLAN NORTH - PHASE 6

18-38



NO.	UPPER PIPE	DEPTH OF PIPE	LOWER PIPE	DEPTH OF PIPE	DIST.
1	800-3000-0	083.7	800-4-P00	080.8	1.0
2	800-3000-0	083.7	800-4-P00	082.2	1.0
3	800-3000-0	083.7	800-4-P00	083.7	1.0
4	800-3000-0	083.7	800-4-P00	085.1	1.0
5	800-3000-0	083.7	800-4-P00	086.5	1.0
6	800-3000-0	083.7	800-4-P00	087.9	1.0
7	800-3000-0	083.7	800-4-P00	089.3	1.0
8	800-3000-0	083.7	800-4-P00	090.7	1.0
9	800-3000-0	083.7	800-4-P00	092.1	1.0
10	800-3000-0	083.7	800-4-P00	093.5	1.0
11	800-3000-0	083.7	800-4-P00	094.9	1.0
12	800-3000-0	083.7	800-4-P00	096.3	1.0
13	800-3000-0	083.7	800-4-P00	097.7	1.0
14	800-3000-0	083.7	800-4-P00	099.1	1.0
15	800-3000-0	083.7	800-4-P00	100.5	1.0
16	800-3000-0	083.7	800-4-P00	101.9	1.0
17	800-3000-0	083.7	800-4-P00	103.3	1.0
18	800-3000-0	083.7	800-4-P00	104.7	1.0
19	800-3000-0	083.7	800-4-P00	106.1	1.0
20	800-3000-0	083.7	800-4-P00	107.5	1.0
21	800-3000-0	083.7	800-4-P00	108.9	1.0
22	800-3000-0	083.7	800-4-P00	110.3	1.0
23	800-3000-0	083.7	800-4-P00	111.7	1.0
24	800-3000-0	083.7	800-4-P00	113.1	1.0
25	800-3000-0	083.7	800-4-P00	114.5	1.0
26	800-3000-0	083.7	800-4-P00	115.9	1.0
27	800-3000-0	083.7	800-4-P00	117.3	1.0
28	800-3000-0	083.7	800-4-P00	118.7	1.0
29	800-3000-0	083.7	800-4-P00	120.1	1.0
30	800-3000-0	083.7	800-4-P00	121.5	1.0
31	800-3000-0	083.7	800-4-P00	122.9	1.0
32	800-3000-0	083.7	800-4-P00	124.3	1.0
33	800-3000-0	083.7	800-4-P00	125.7	1.0
34	800-3000-0	083.7	800-4-P00	127.1	1.0
35	800-3000-0	083.7	800-4-P00	128.5	1.0
36	800-3000-0	083.7	800-4-P00	129.9	1.0
37	800-3000-0	083.7	800-4-P00	131.3	1.0
38	800-3000-0	083.7	800-4-P00	132.7	1.0
39	800-3000-0	083.7	800-4-P00	134.1	1.0
40	800-3000-0	083.7	800-4-P00	135.5	1.0
41	800-3000-0	083.7	800-4-P00	136.9	1.0
42	800-3000-0	083.7	800-4-P00	138.3	1.0
43	800-3000-0	083.7	800-4-P00	139.7	1.0
44	800-3000-0	083.7	800-4-P00	141.1	1.0
45	800-3000-0	083.7	800-4-P00	142.5	1.0
46	800-3000-0	083.7	800-4-P00	143.9	1.0
47	800-3000-0	083.7	800-4-P00	145.3	1.0
48	800-3000-0	083.7	800-4-P00	146.7	1.0
49	800-3000-0	083.7	800-4-P00	148.1	1.0
50	800-3000-0	083.7	800-4-P00	149.5	1.0

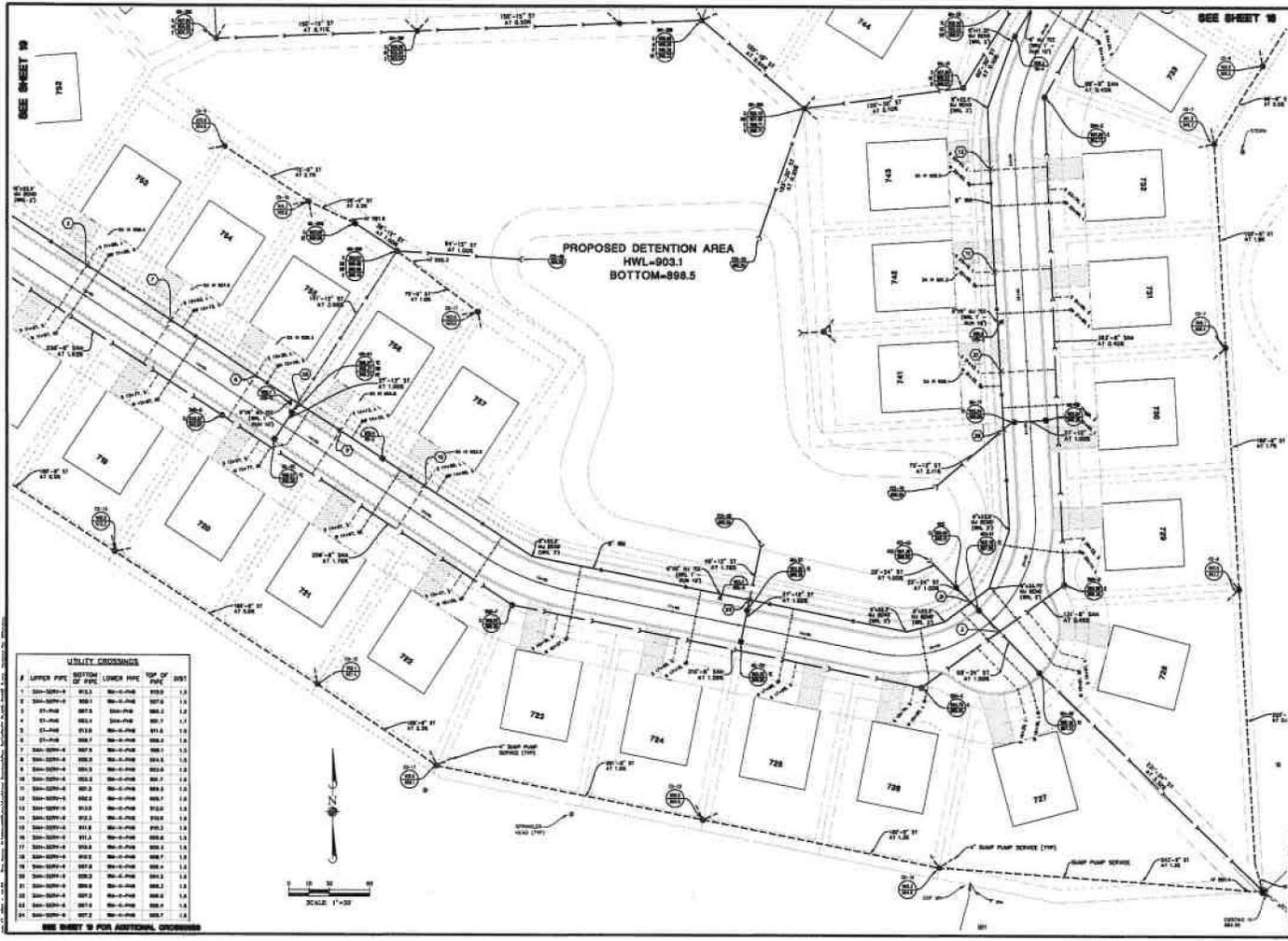
WATER AND SEWER CROSSINGS SHALL MEET MIN. SEPARATION AND PER MATERIAL REQUIREMENTS (SEE DETAIL SHEET).

SEE SHEET 19

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HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6  
VILLAGE OF HAWTHORN WOODS, ILLINOIS  
UTILITY PLAN WEST - PHASE 6

19-38



**UTILITY CROSSINGS**

#	UPPER PIPE	BOTTOM OF PIPE	LOWER PIPE	TOP OF PIPE	SP. OF PIPE
1	300-300-4	893.3	300-300-6	899.9	1.8
2	300-300-4	893.1	300-300-6	897.8	1.8
3	31-300	893.0	300-300-6	898.0	1.8
4	31-300	892.8	300-300-6	897.7	1.8
5	31-300	892.6	300-300-6	897.4	1.8
6	31-300	892.4	300-300-6	897.1	1.8
7	300-300-4	892.2	300-300-6	896.8	1.8
8	300-300-4	892.0	300-300-6	896.5	1.8
9	300-300-4	891.8	300-300-6	896.2	1.8
10	300-300-4	891.6	300-300-6	895.9	1.8
11	300-300-4	891.4	300-300-6	895.6	1.8
12	300-300-4	891.2	300-300-6	895.3	1.8
13	300-300-4	891.0	300-300-6	895.0	1.8
14	300-300-4	890.8	300-300-6	894.7	1.8
15	300-300-4	890.6	300-300-6	894.4	1.8
16	300-300-4	890.4	300-300-6	894.1	1.8
17	300-300-4	890.2	300-300-6	893.8	1.8
18	300-300-4	890.0	300-300-6	893.5	1.8
19	300-300-4	889.8	300-300-6	893.2	1.8
20	300-300-4	889.6	300-300-6	892.9	1.8
21	300-300-4	889.4	300-300-6	892.6	1.8
22	300-300-4	889.2	300-300-6	892.3	1.8
23	300-300-4	889.0	300-300-6	892.0	1.8
24	300-300-4	888.8	300-300-6	891.7	1.8

SEE SHEET 10 FOR ADDITIONAL CROSSINGS

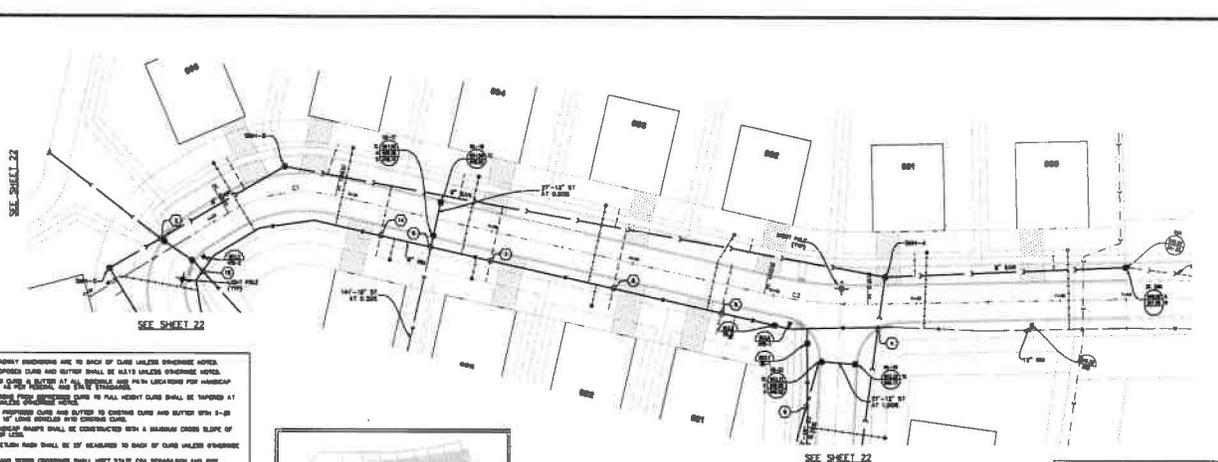


SEE SHEET 10

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HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6  
VILLAGE OF HAWTHORN WOODS, ILLINOIS  
UTILITY PLAN EAST - PHASE 6

20-38



1. ALL EXISTING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED CURBS AND GUTTERS SHALL BE 18" UNLESS OTHERWISE NOTED.
3. EXISTING CURBS, GUTTERS AND SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
4. EXISTING SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
5. ALL PROPOSED CURBS AND GUTTERS TO EXISTING CURBS AND GUTTERS WITH 2-10' SPAN SHALL BE CONSTRUCTED WITH A MINIMUM CROSS SLOPE OF 1% TO DRAIN TO CURB.
6. ALL PROPOSED CURBS AND GUTTERS TO EXISTING CURBS AND GUTTERS WITH 10-20' SPAN SHALL BE CONSTRUCTED WITH A MINIMUM CROSS SLOPE OF 1% TO DRAIN TO CURB.
7. CURB RETURN RAMP SHALL BE 2% REGRADDED TO BACK OF CURB UNLESS OTHERWISE NOTED.
8. WALK AND BIKEWAY DIMENSIONS SHALL MEET STATE OR LOCAL SEPARATION AND PAVEMENT REQUIREMENTS. (SEE DETAIL SHEET)
9. EXISTING AND PROPOSED SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE. SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
10. ALL SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
11. ALL SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
12. ALL SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
13. ALL SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
14. EXISTING SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
15. ALL SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
16. ALL SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
17. ALL SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
18. ALL SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
19. ALL SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.
20. ALL SIDEWALKS SHALL BE RECONSTRUCTED TO MATCH PROPOSED GRADATIONS AND TO PROVIDE PROPER DRAINAGE.



SEE SHEET 22

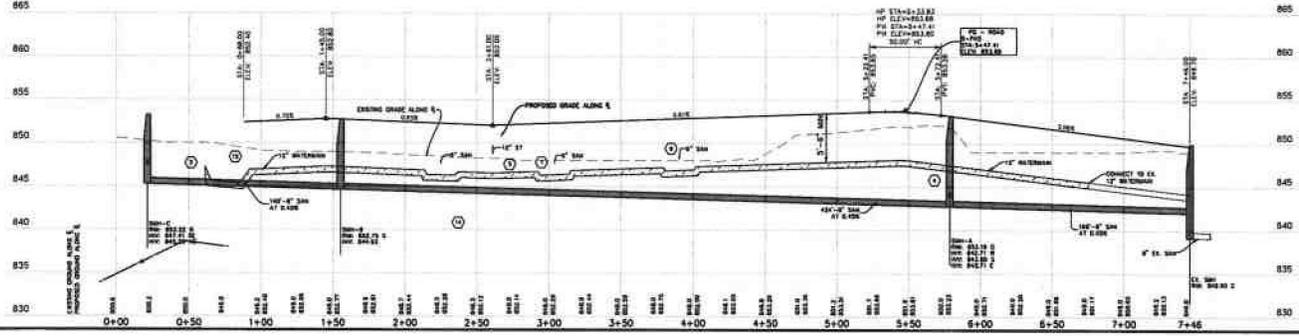
Curve #	RADIUS	LENGTH	DELTA	TANGENT	PC STA	PT STA
01	100.00'	75.00'	143.01°	16.41'	1+11.87	1+86.87
02	200.00'	75.00'	137.01°	32.82'	1+44.12	2+19.12

#	UPPER PIPE	BOTTOM OF PIPE	LOWER PIPE	TOP OF PIPE	DEPT
1	360-000	310	360-000	300	1.0
2	360-000	300	360-000	290	1.0
3	360-000	300	360-000	280	1.0
4	360-000	300	360-000	270	1.0
5	360-000	300	360-000	260	1.0
6	360-000	300	360-000	250	1.0
7	360-000	300	360-000	240	1.0
8	360-000	300	360-000	230	1.0
9	360-000	300	360-000	220	1.0
10	360-000	300	360-000	210	1.0
11	360-000	300	360-000	200	1.0
12	360-000	300	360-000	190	1.0
13	360-000	300	360-000	180	1.0
14	360-000	300	360-000	170	1.0
15	360-000	300	360-000	160	1.0
16	360-000	300	360-000	150	1.0
17	360-000	300	360-000	140	1.0
18	360-000	300	360-000	130	1.0
19	360-000	300	360-000	120	1.0
20	360-000	300	360-000	110	1.0

RIVER HIGHLANDS

SEE SHEETS 15 & 16 FOR SLOPE DATA FITTINGS AND REBAR LENGTH REQUIREMENTS

WATER AND SEWER CROSSINGS SHALL MEET MIN. SEPARATION AND PIPE MATERIAL REQUIREMENTS (SEE DETAIL SHEET)



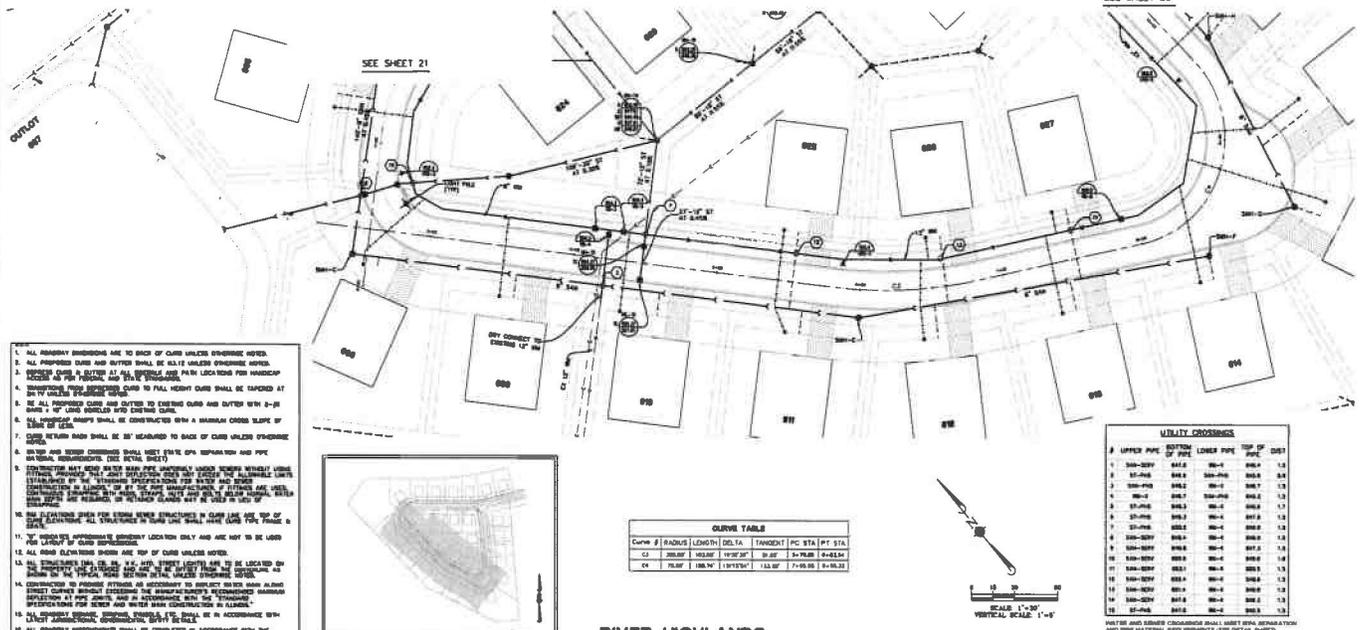
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MANHARTH WOODS COUNTRY CLUB - PHASES 5 AND 6  
 VILLAGE OF HAWTHORN WOODS, ILLINOIS  
 PLAN & PROFILE - RIVER HIGHLANDS NORTH - STA. 0+00 TO 7+46

21-38

SEE SHEET 23

SEE SHEET 21



1. ALL UTILITY STRUCTURES ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED CURBS AND SIDWALKS SHALL BE 6\"/>



Curve #	RADIUS	LENGTH	DELTA	TANGENT	PC STA	PT STA
1	100.00'	100.00'	180.00°	50.00'	2+10.00	2+40.00
2	150.00'	150.00'	120.00°	75.00'	3+10.00	3+40.00

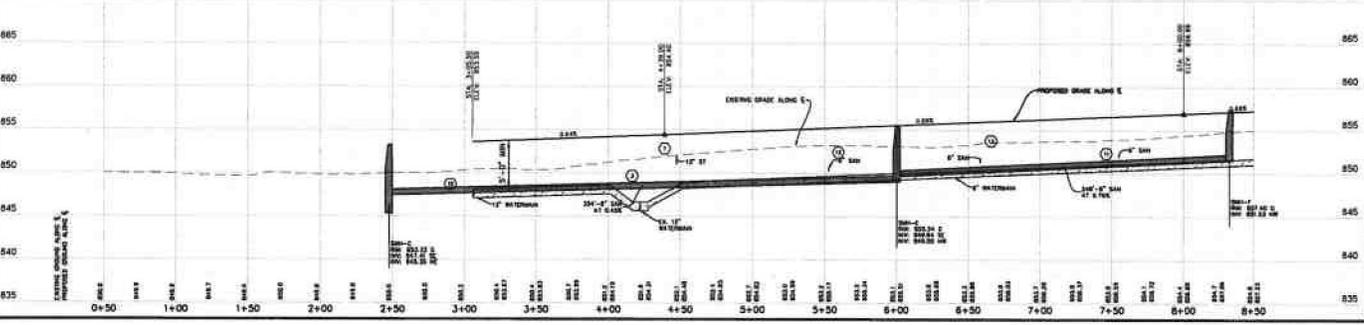
#	UPPER PIPE OF PIPE	DEPTH	LOWER PIPE	TOP OF PIPE	DIET
1	300-300	48\"/>			



PLAN KEY MAP

RIVER HIGHLANDS

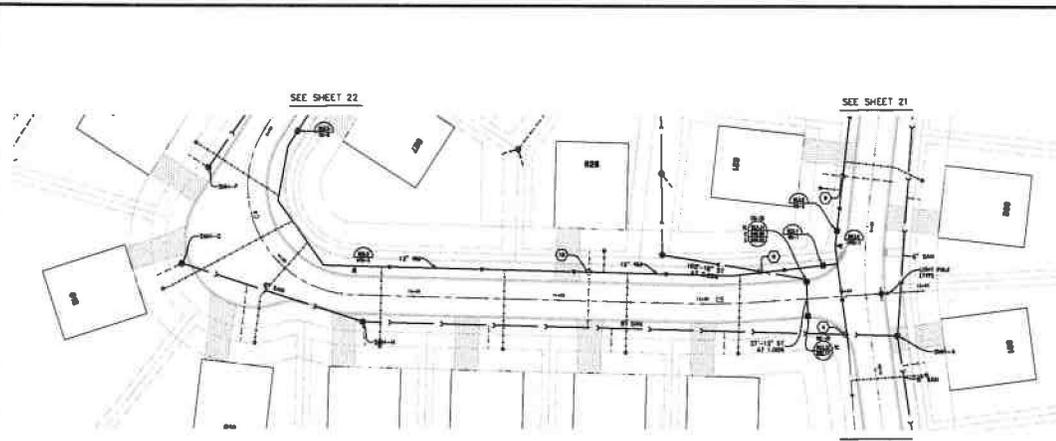
NOTE: WATER AND SEWER CONNECTIONS SHALL MEET PER SEPA SEPARATION AND PER NATIONAL REQUIREMENTS USE DETAIL SHEET.



**Manhard CONSULTING**

HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6  
 VILLAGE OF HAWTHORN WOODS, ILLINOIS  
 PLAN & PROFILE - RIVER HIGHLANDS SOUTH - STA. 0+00 TO 7+50

22-38



1. ALL EXISTING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED CURBS AND GUTTERS SHALL BE SET TO UNIFORM SPINDLE NOTES.
3. PROPOSED CURBS AND GUTTERS SHALL BE SET TO UNIFORM SPINDLE NOTES FOR HANDICAP ACCESS AS PER A.D.A. AND 2010 ADA CHAPTER 101 IN LOCATIONS FOR HANDICAP ACCESS.
4. PROPOSED CURBS AND GUTTERS SHALL BE SET TO UNIFORM SPINDLE NOTES FOR HANDICAP ACCESS AS PER A.D.A. AND 2010 ADA CHAPTER 101 IN LOCATIONS FOR HANDICAP ACCESS.
5. ALL PROPOSED CURBS AND GUTTERS TO EXISTING CURBS AND GUTTERS WITH 2-20 INCH ± OF CURB SHOULD BE CONSTRUCTED WITH A MINIMUM CROSS SLOPE OF 2% TO 4%.
6. ALL PROPOSED CURBS SHALL BE CONSTRUCTED WITH A MINIMUM CROSS SLOPE OF 2% TO 4%.
7. CURB RETURN RAMP SHALL BE OF SUFFICIENT TO BACK OF CURB UNLESS OTHERWISE NOTED.
8. CURB AND GUTTER CONSTRUCTION SHALL MEET STATE OF ILLINOIS AND PIPE MANUFACTURER'S REQUIREMENTS (SEE 1010 SPEC).
9. UTILITY CROSSINGS SHALL BE CONSTRUCTED WITH A MINIMUM COVER OVER THE UTILITY OF 18" UNLESS OTHERWISE NOTED. ALL UTILITY CROSSINGS SHALL BE CONSTRUCTED WITH A MINIMUM COVER OVER THE UTILITY OF 18" UNLESS OTHERWISE NOTED.
10. ALL ROAD ELEVATIONS SHOWN ARE TOP OF CURB UNLESS NOTED.
11. ALL PROPOSED CURBS AND GUTTERS SHALL BE SET TO UNIFORM SPINDLE NOTES FOR HANDICAP ACCESS AS PER A.D.A. AND 2010 ADA CHAPTER 101 IN LOCATIONS FOR HANDICAP ACCESS.
12. ALL PROPOSED CURBS AND GUTTERS SHALL BE SET TO UNIFORM SPINDLE NOTES FOR HANDICAP ACCESS AS PER A.D.A. AND 2010 ADA CHAPTER 101 IN LOCATIONS FOR HANDICAP ACCESS.
13. CONSTRUCTION IS PROHIBITED FROM BEING NEARER TO EXISTING CURBS AND GUTTERS THAN THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS.
14. ALL EXISTING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
15. ALL PROPOSED DIMENSIONS SHALL BE COMPLETED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS.



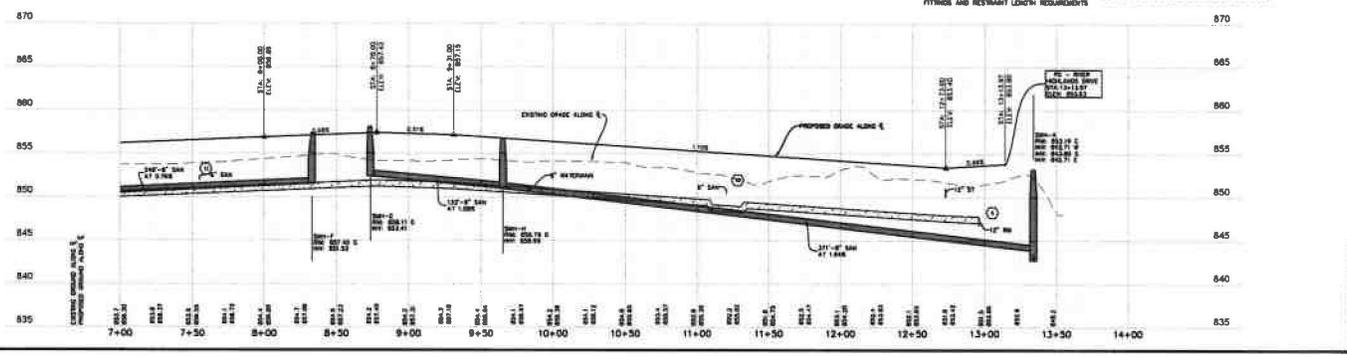
PLAN KEY MAP

RIVER HIGHLANDS

CURVE TABLE				
Curve #	Radius	Length	Delta	Tangent
1	1148.28	114.83	13.96	114.83
2	1148.28	114.83	13.96	114.83

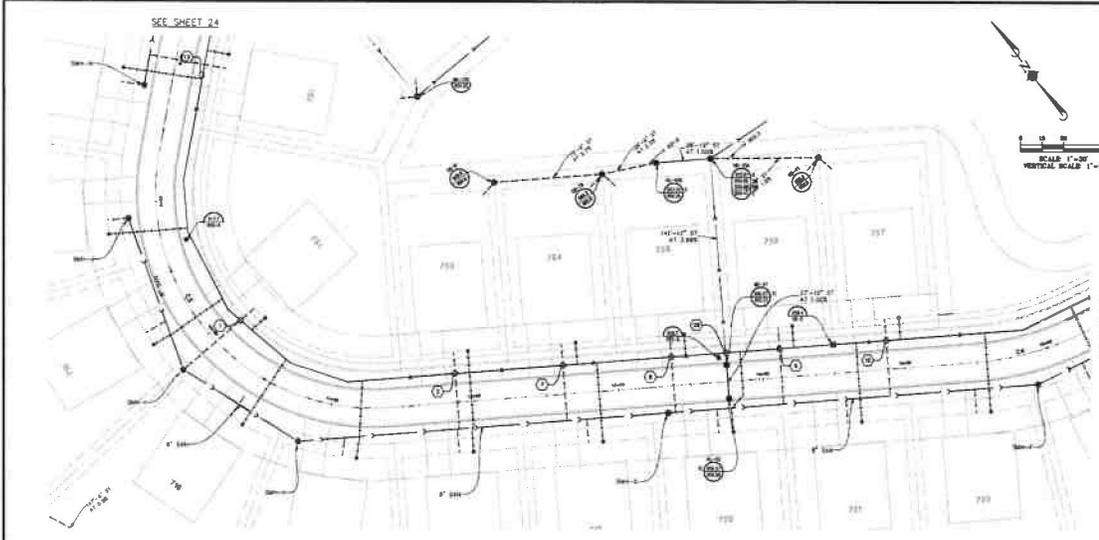


UTILITY CROSSINGS				
#	LOWER PIPE	DEPTH OF PIPE	LOWER PIPE	TOP OF PIPE
1	120-120W	30.0	30.0	30.0
2	120-120W	30.0	30.0	30.0
3	120-120W	30.0	30.0	30.0
4	120-120W	30.0	30.0	30.0
5	120-120W	30.0	30.0	30.0
6	120-120W	30.0	30.0	30.0
7	120-120W	30.0	30.0	30.0
8	120-120W	30.0	30.0	30.0
9	120-120W	30.0	30.0	30.0
10	120-120W	30.0	30.0	30.0
11	120-120W	30.0	30.0	30.0
12	120-120W	30.0	30.0	30.0
13	120-120W	30.0	30.0	30.0
14	120-120W	30.0	30.0	30.0
15	120-120W	30.0	30.0	30.0



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 VILLAGE OF HAWTHORN WOODS, ILLINOIS  
 PLAN & PROFILE - RIVER HIGHLANDS SOUTH - STA 7+50 TO 14+00  
 23-38





**UTILITY CROSSINGS**

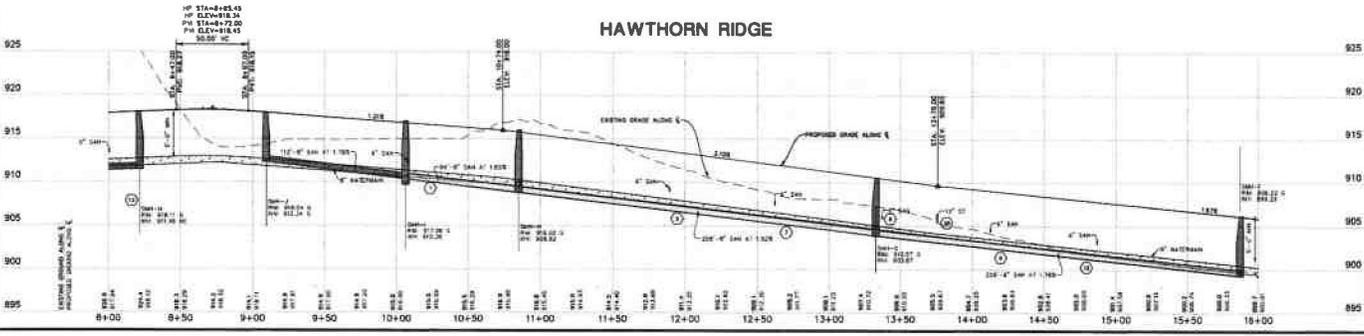
#	UPPER PIPE	BOTTOM OF PIPE	LOWER PIPE	TOP OF PIPE	POST
1	8" S&W-SP-4	8'11.3"	10" S&W-4	10'0.0"	1.0
2	8" S&W-SP-4	8'08.1"	10" S&W-4	10'0.0"	1.0
3	8" S&W-4	8'05.9"	8" S&W-4	8'00.0"	1.0
4	8" S&W-4	8'03.7"	8" S&W-4	8'00.0"	1.0
5	8" S&W-4	8'01.5"	8" S&W-4	8'00.0"	1.0
6	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
7	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
8	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
9	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
10	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
11	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
12	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
13	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
14	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
15	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
16	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
17	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
18	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
19	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
20	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
21	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
22	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
23	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
24	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
25	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
26	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
27	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
28	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
29	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0
30	8" S&W-SP-4	8'00.0"	10" S&W-4	10'0.0"	1.0

**CURVE TABLE**

Curve #	RADIUS	LENGTH	DELTA	TANGENT	PC STA	PT STA
01	100.00'	75.00'	33.000°	38.97'	11+00.00	11+75.00
02	100.00'	75.00'	33.000°	38.97'	12+00.00	12+75.00



**HAWTHORN RIDGE**

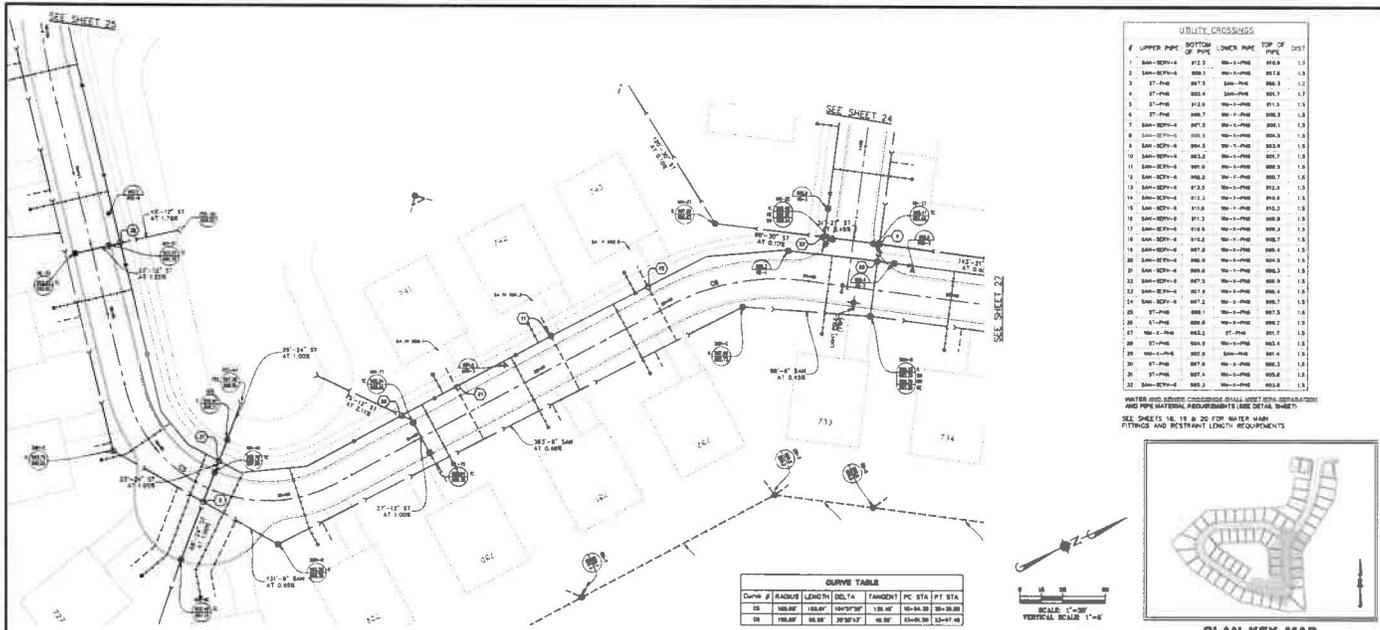


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HAWTHORN RIDGE COUNTRY CLUB - PHASES 5 AND 6  
 VILLAGE OF HAWTHORN RIDGE, ILLINOIS  
 PLAN & PROFILE - HAWTHORN RIDGE - STA. 8+00 TO 16+00

25-38

DATE: 11/15/11  
 DRAWN BY: J. G. GARDNER  
 CHECKED BY: J. G. GARDNER  
 PROJECT NO.: 11-115-11

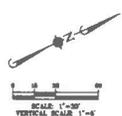


**UTILITY CROSSINGS**

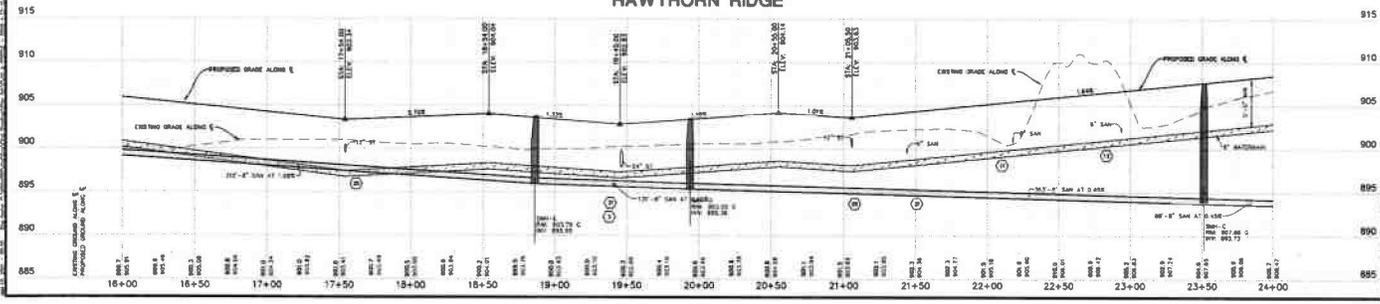
#	UPPER PIPE	BOTTOM PIPE	LOWEN NAME	TOP OF PIPE	DEPT
1	36\"/>				

**CURVE TABLE**

Curve #	RADIUS	LENGTH	DELTA	TANGENT	PC STA	PT STA
C1	100.00'	100.00'	180.00°	100.00'	16+00.00	17+00.00
C2	100.00'	100.00'	180.00°	100.00'	17+00.00	18+00.00



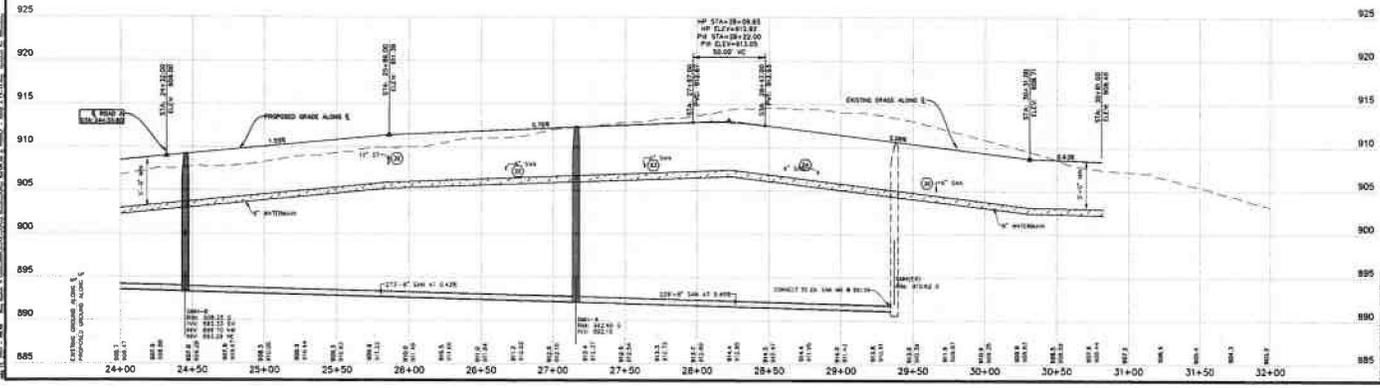
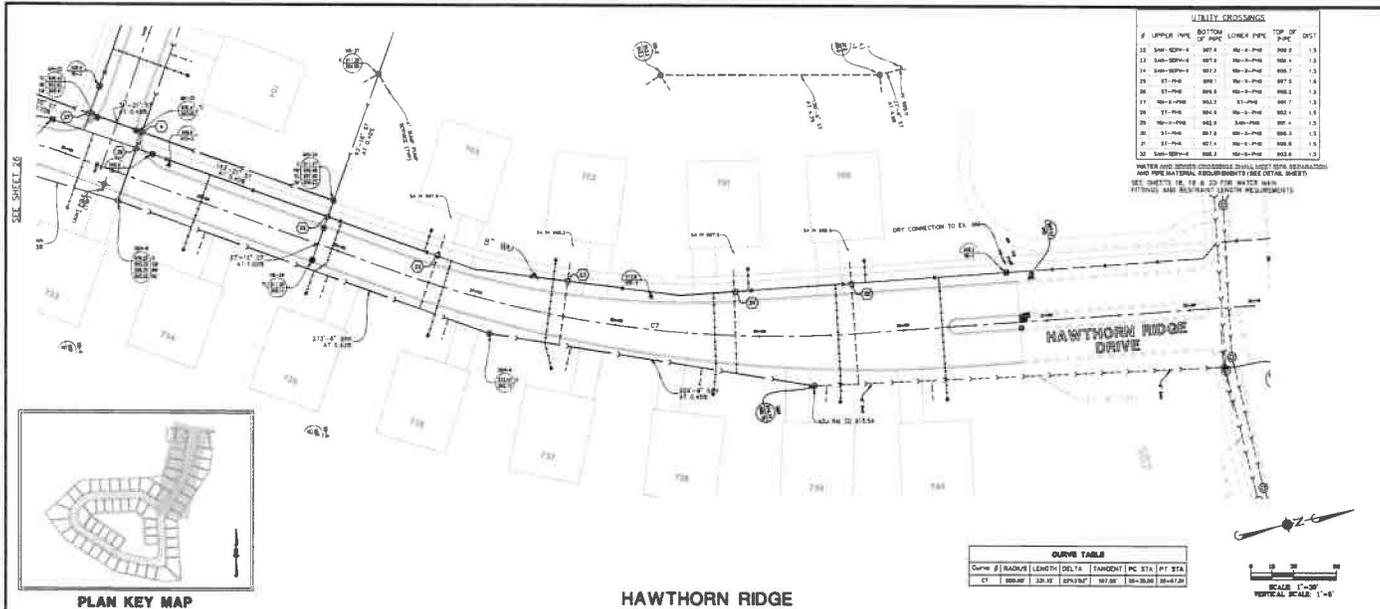
**HAWTHORN RIDGE**



**Manhard CONSULTING**

HAWTHORN WOODS COUNTRY CLUB - PHASES 6 AND 8  
 VILLAGE OF HAWTHORN WOODS, ILLINOIS  
 PLAN & PROFILE - HAWTHORN RIDGE - STA. 16+00 TO 24+00

26-38

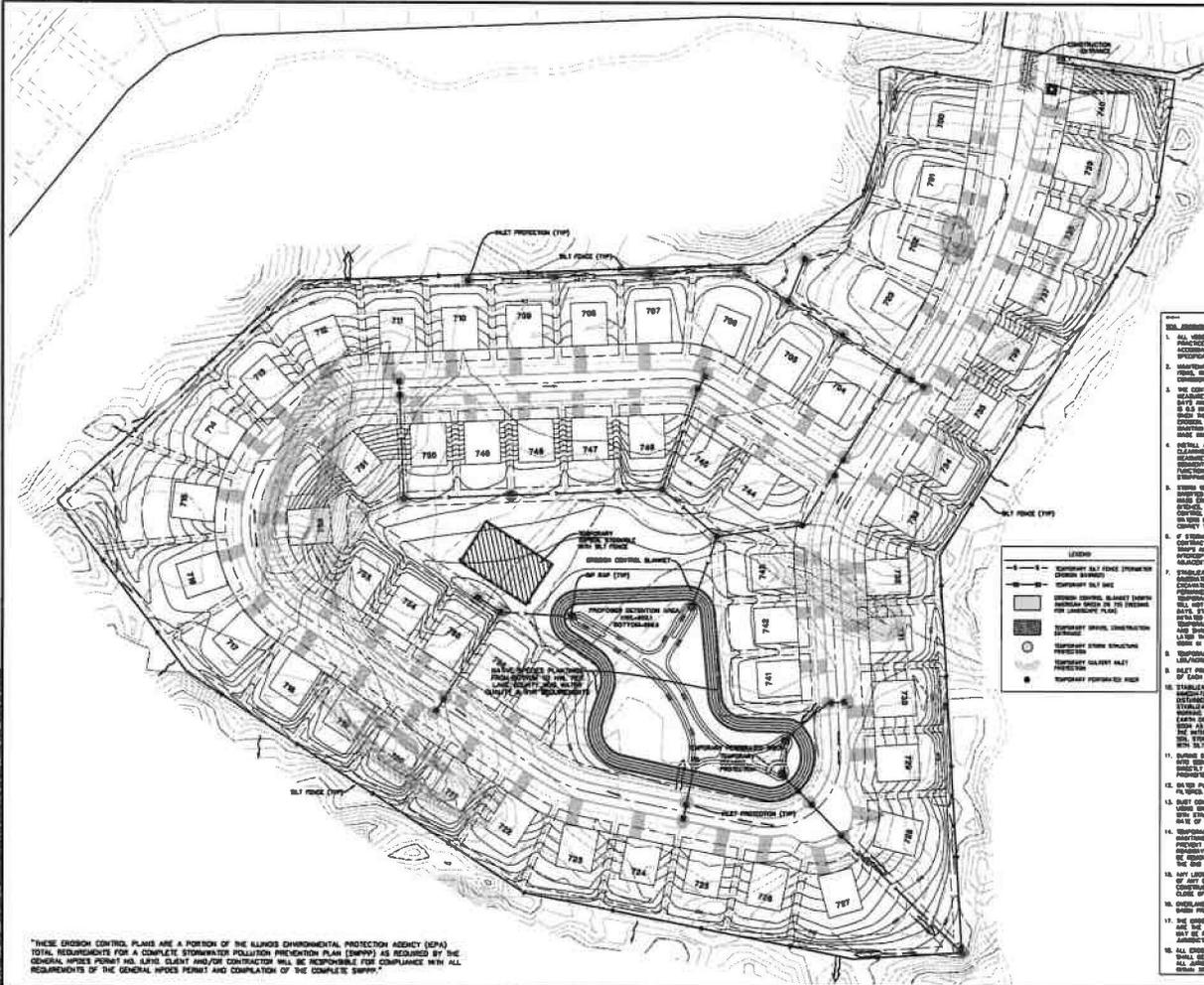


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HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6  
VILLAGE OF HAWTHORN WOODS, ILLINOIS  
PLAN & PROFILE - HAWTHORN RIDGE - STA. 24+00 TO 32+00

27-38





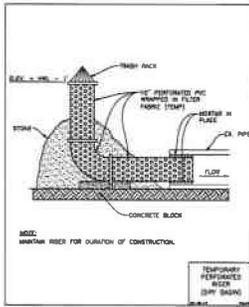
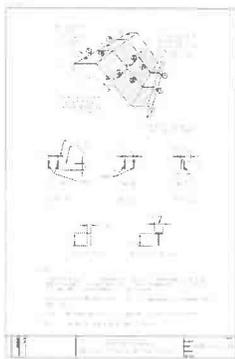
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES**
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE GENERAL STANDARDS AND SPECIFICATIONS OF THE ILLINOIS EROSION CONTROL ACT.
  2. MAINTENANCE AND REPAIRS OF EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COMPLETED AS NECESSARY TO THE CONTRACT.
  3. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES AT LEAST EVERY SEVEN (7) DAYS FROM THE DATE OF INSTALLATION UNTIL THE DATE OF COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  7. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  8. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  9. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  10. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  11. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  12. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  13. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  14. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  15. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  16. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  17. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  18. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  19. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
  20. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.

THESE EROSION CONTROL PLANS ARE A PORTION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE GENERAL PERMIT PROGRAM AND LAND CLEARING AND/OR CONSTRUCTION WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT PROGRAM AND COMPLETION OF THE COMPLETE SWPPP.

**Manhard CONSULTING**  
 HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6  
 VILLAGE OF HAWTHORN WOODS, ILLINOIS  
 SOIL EROSION AND SEDIMENT CONTROL PLAN - PHASE 6

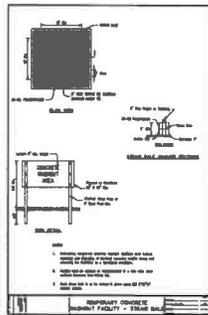
DATE: 11/15/2011  
 DRAWN BY: J. MANHARD  
 CHECKED BY: J. MANHARD  
 SCALE: 1"=50'

29-38

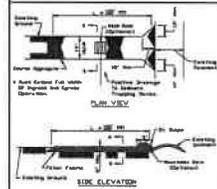


NOTE: MAINTAIN FENCE FOR DURATION OF CONSTRUCTION.

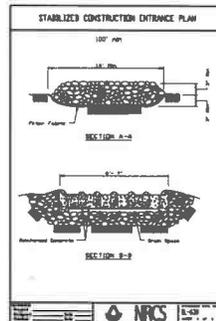
TEMPORARY  
FILTRESCREENED  
FENCE  
(SIF-1042)



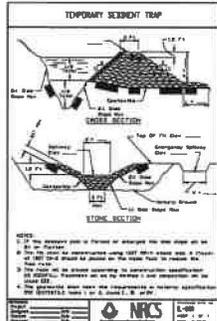
STABILIZED CONSTRUCTION ENTRANCE PLAN



NOTE:  
1. FENCE SHALL BE CONSTRUCTED ON A FIRM, UNDISTURBED, AND UNCOMPRESSED SURFACE.  
2. FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF 3/4" SAND OR EQUIVALENT MATERIAL.  
3. FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF 3/4" SAND OR EQUIVALENT MATERIAL.  
4. FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF 3/4" SAND OR EQUIVALENT MATERIAL.  
5. FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF 3/4" SAND OR EQUIVALENT MATERIAL.  
6. FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF 3/4" SAND OR EQUIVALENT MATERIAL.



STABILIZED CONSTRUCTION ENTRANCE PLAN



TEMPORARY SEDIMENT TRAP

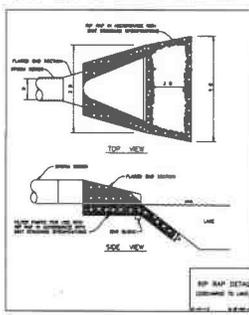
NOTE:  
1. THE SEDIMENT TRAP SHALL BE CONSTRUCTED ON A FIRM, UNDISTURBED, AND UNCOMPRESSED SURFACE.  
2. THE SEDIMENT TRAP SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF 3/4" SAND OR EQUIVALENT MATERIAL.  
3. THE SEDIMENT TRAP SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF 3/4" SAND OR EQUIVALENT MATERIAL.  
4. THE SEDIMENT TRAP SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF 3/4" SAND OR EQUIVALENT MATERIAL.  
5. THE SEDIMENT TRAP SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF 3/4" SAND OR EQUIVALENT MATERIAL.  
6. THE SEDIMENT TRAP SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF 3/4" SAND OR EQUIVALENT MATERIAL.



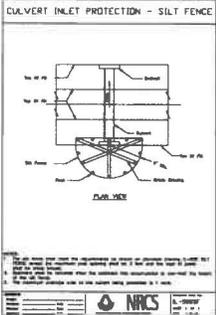
SILT FENCE DETAIL

STONE RIP-RAP		BEDDING	
DEPTH	WIDTH	DEPTH	WIDTH
12"	3'	12"	3'
18"	4'	18"	4'
24"	5'	24"	5'
30"	6'	30"	6'
36"	7'	36"	7'
42"	8'	42"	8'
48"	9'	48"	9'
54"	10'	54"	10'
60"	11'	60"	11'
66"	12'	66"	12'
72"	13'	72"	13'
78"	14'	78"	14'
84"	15'	84"	15'
90"	16'	90"	16'
96"	17'	96"	17'
102"	18'	102"	18'
108"	19'	108"	19'
114"	20'	114"	20'
120"	21'	120"	21'
126"	22'	126"	22'
132"	23'	132"	23'
138"	24'	138"	24'
144"	25'	144"	25'
150"	26'	150"	26'
156"	27'	156"	27'
162"	28'	162"	28'
168"	29'	168"	29'
174"	30'	174"	30'
180"	31'	180"	31'
186"	32'	186"	32'
192"	33'	192"	33'
198"	34'	198"	34'
204"	35'	204"	35'
210"	36'	210"	36'
216"	37'	216"	37'
222"	38'	222"	38'
228"	39'	228"	39'
234"	40'	234"	40'
240"	41'	240"	41'
246"	42'	246"	42'
252"	43'	252"	43'
258"	44'	258"	44'
264"	45'	264"	45'
270"	46'	270"	46'
276"	47'	276"	47'
282"	48'	282"	48'
288"	49'	288"	49'
294"	50'	294"	50'
300"	51'	300"	51'
306"	52'	306"	52'
312"	53'	312"	53'
318"	54'	318"	54'
324"	55'	324"	55'
330"	56'	330"	56'
336"	57'	336"	57'
342"	58'	342"	58'
348"	59'	348"	59'
354"	60'	354"	60'
360"	61'	360"	61'
366"	62'	366"	62'
372"	63'	372"	63'
378"	64'	378"	64'
384"	65'	384"	65'
390"	66'	390"	66'
396"	67'	396"	67'
402"	68'	402"	68'
408"	69'	408"	69'
414"	70'	414"	70'
420"	71'	420"	71'
426"	72'	426"	72'
432"	73'	432"	73'
438"	74'	438"	74'
444"	75'	444"	75'
450"	76'	450"	76'
456"	77'	456"	77'
462"	78'	462"	78'
468"	79'	468"	79'
474"	80'	474"	80'
480"	81'	480"	81'
486"	82'	486"	82'
492"	83'	492"	83'
498"	84'	498"	84'
504"	85'	504"	85'
510"	86'	510"	86'
516"	87'	516"	87'
522"	88'	522"	88'
528"	89'	528"	89'
534"	90'	534"	90'
540"	91'	540"	91'
546"	92'	546"	92'
552"	93'	552"	93'
558"	94'	558"	94'
564"	95'	564"	95'
570"	96'	570"	96'
576"	97'	576"	97'
582"	98'	582"	98'
588"	99'	588"	99'
594"	100'	594"	100'

NOTE:  
1. FOR PIPE LINES, USE 24" x 24" BEDDING.  
2. FOR PIPE LINES, USE 24" x 24" BEDDING.  
3. FOR PIPE LINES, USE 24" x 24" BEDDING.  
4. FOR PIPE LINES, USE 24" x 24" BEDDING.  
5. FOR PIPE LINES, USE 24" x 24" BEDDING.  
6. FOR PIPE LINES, USE 24" x 24" BEDDING.

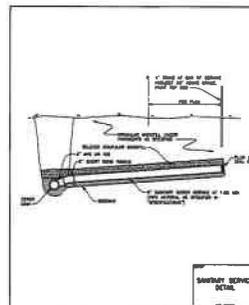
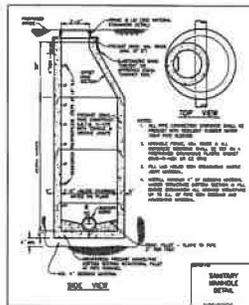
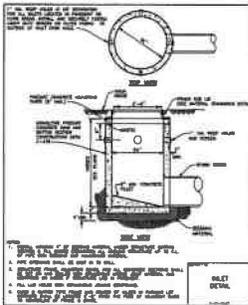
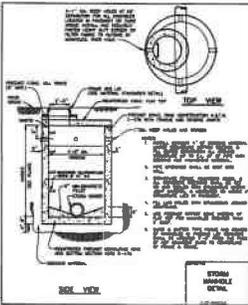


RIP-RAP DETAIL  
(CONTINUED TO NEXT)

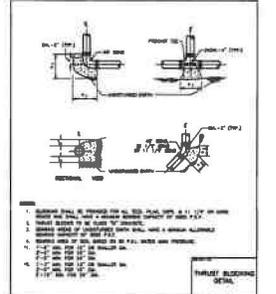
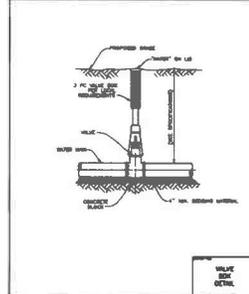
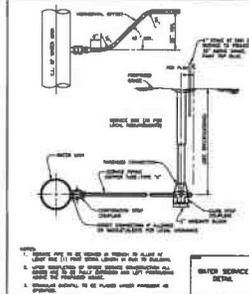
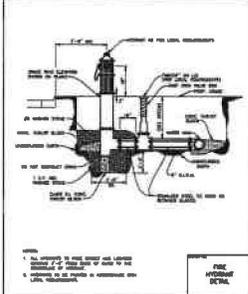
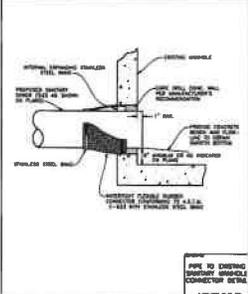
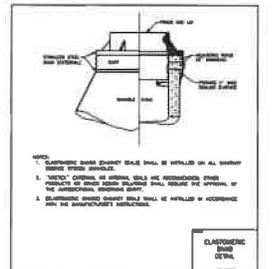


CULVERT INLET PROTECTION - SILT FENCE





SHOULD A CONFLICT ARISE BETWEEN MANHARD DETAILS AND THE VILLAGE AND AQUA'S DETAILS, THE VILLAGE AND AQUA'S DETAILS SHALL TAKE PRECEDENCE.



**BRASSOLE PREPARATION FOR WELD AND BRASS CONSTRUCTION IS AS FOLLOWS:**

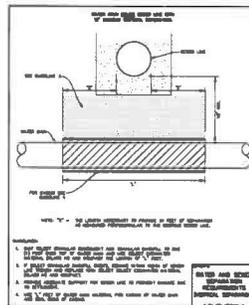
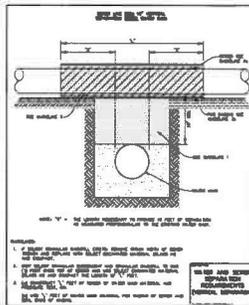
**41-2.1.1.1. BRASSOLE PREPARATION FOR WELD AND BRASS CONSTRUCTION IS AS FOLLOWS:**

1. The brassole shall be prepared in accordance with the following:
2. The brassole shall be prepared in accordance with the following:
3. The brassole shall be prepared in accordance with the following:
4. The brassole shall be prepared in accordance with the following:

**BRASSOLE PREPARATION FOR WELD AND BRASS CONSTRUCTION IS AS FOLLOWS:**

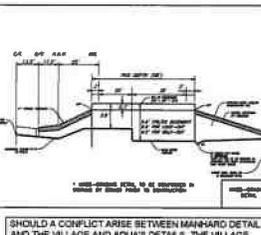
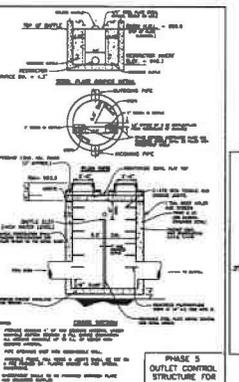
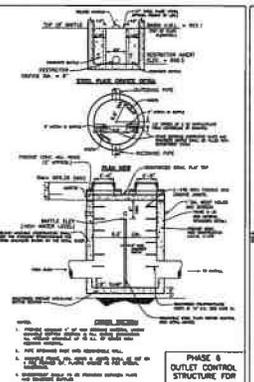
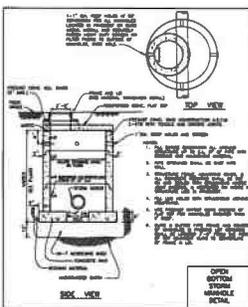
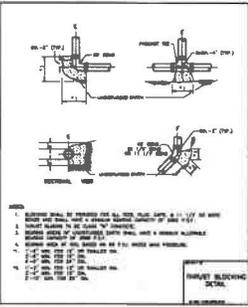
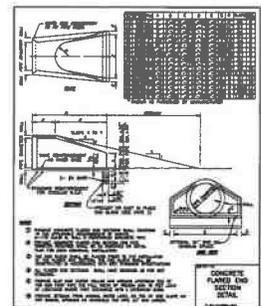
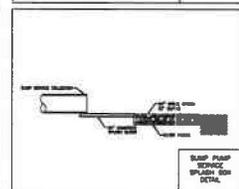
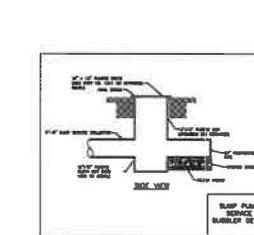
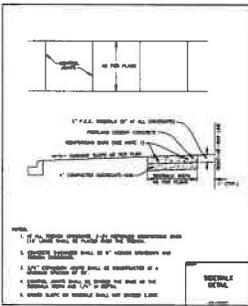
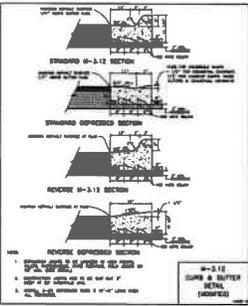
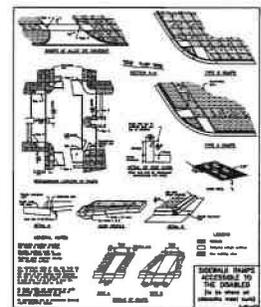
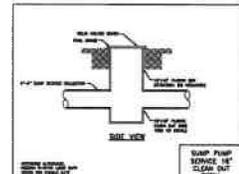
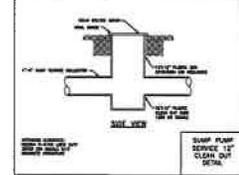
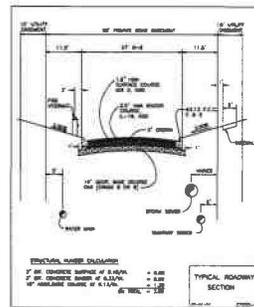
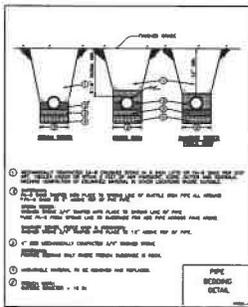
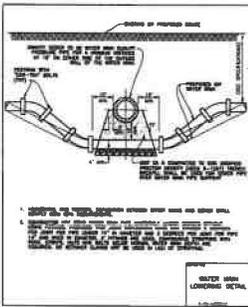
**41-2.1.1.1. BRASSOLE PREPARATION FOR WELD AND BRASS CONSTRUCTION IS AS FOLLOWS:**

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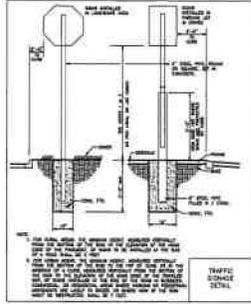
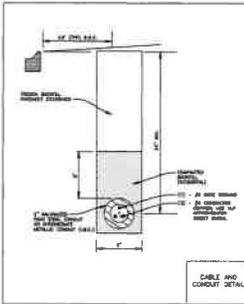
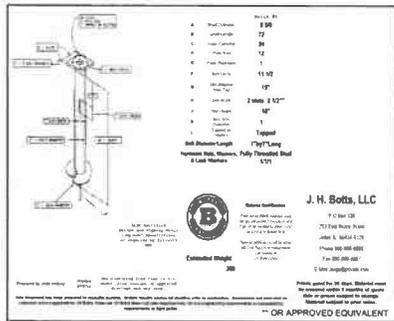
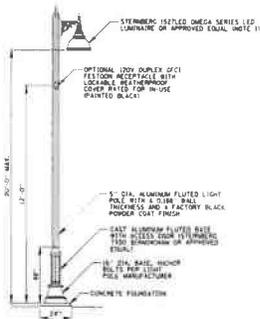


**MATERIAL STANDARDS**

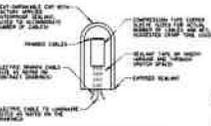
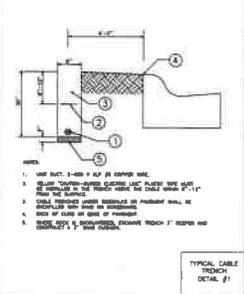
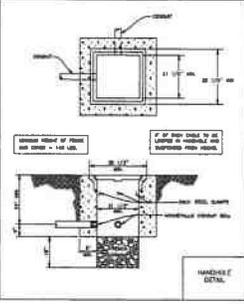
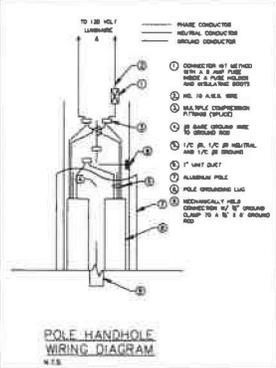
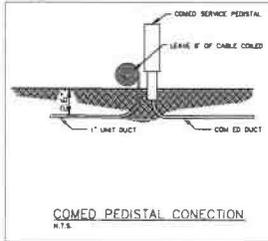
ITEM	DESCRIPTION	STANDARD
1	304 STAINLESS STEEL	AISI 304
2	316 STAINLESS STEEL	AISI 316
3	304 STAINLESS STEEL	AISI 304
4	316 STAINLESS STEEL	AISI 316
5	304 STAINLESS STEEL	AISI 304
6	316 STAINLESS STEEL	AISI 316
7	304 STAINLESS STEEL	AISI 304
8	316 STAINLESS STEEL	AISI 316
9	304 STAINLESS STEEL	AISI 304
10	316 STAINLESS STEEL	AISI 316



SHOULD A CONFLICT ARISE BETWEEN MANHARD DETAILS AND THE VILLAGE AND AQUA'S DETAILS, THE VILLAGE AND AQUA'S DETAILS SHALL TAKE PRECEDENCE.



RESIDENCE ZONING DISTRICT AND STREET LIGHT STANDARD



1. REMOVE ALL OUTER CABLE COVERINGS, LEAVING A MIN. (100 MM) OF INSULATED WIRE EXPOSED.

2. REMOVE INSULATION FOR 1 IN. (25 MM) AND SQUARE CORNER CONDUCTORS.

3. CONNECT CONDUCTORS BY TWISTING AND SOLDERING TOGETHER.

4. WRAP EACH CONDUCTOR SEPARATELY WITH RUBBER OR VINYL ELECTRICAL TAPE. THE WRAPPING SHALL COMPLETELY COVER THE TWISTED CONNECTION AND THE INSULATION 1 IN. (25 MM) BEYOND ALL EXPOSED COPPER WIRE ON OTHER END OF THE CONNECTION.

5. SQUARE THE CABLE SHEATH CLEAN AND PLACE THE CABLE IN A RIGID MOLD OR A CONTAINER. THE MOLD OR CONTAINER SHALL BE OF A TYPE ACCEPTABLE TO THE ENGINEER.

6. CENTER ALL CONDUCTORS IN MOLDS OR CONTAINERS.

7. FILL THE MOLD OR CONTAINER WITH EPOXY RESIN OR POLYURETHANE COMPOUND. THE EPOXY RESIN OR POLYURETHANE COMPOUND USED SHALL BE (DIELECTRIC, WATERPROOF) AND APPROVED BY THE ENGINEER.

ALL STRANDED CONDUCTORS SHALL BE TERMINATED IN THE CABINET USING CRIMP-ON CONNECTORS.

SHOULD A CONFLICT ARISE BETWEEN MANHARD DETAILS AND THE VILLAGE DETAILS, THE VILLAGE DETAILS SHALL TAKE PRECEDENCE.

**Manhard CONSULTING**

1000 N. WASHINGTON ST. SUITE 200  
CHICAGO, IL 60610  
TEL: 312.467.1000  
WWW.MANHARDCONSULTING.COM

HAWTHORN WOODS COUNTRY CLUB - PHASES 5 AND 6  
VILLAGE OF HAWTHORN WOODS, ILLINOIS  
STREET LIGHTING AND SIGNAGE DETAILS

34-38





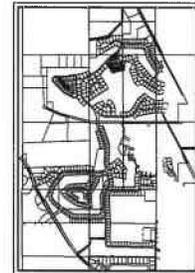




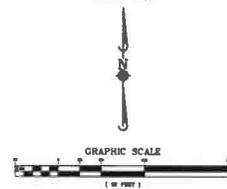
**Exhibit E**  
**Final Plats**

# FINAL PLAT OF RESUBDIVISION OF HAWTHORN WOODS COUNTRY CLUB PHASE 5

BEING A RESUBDIVISION OF ALL OF HAWTHORN WOODS COUNTRY CLUB PHASE 5, BEING A RESUBDIVISION  
IN PART OF SECTION 4, TOWNSHIP 23 NORTH, RANGE 10, AND PART OF SECTION 20, TOWNSHIP 23  
NORTH, RANGE 10, AND PART OF SECTION 20, TOWNSHIP 23 NORTH, RANGE 10, AND PART OF SECTION  
20, TOWNSHIP 23 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LAKE COUNTY, ILLINOIS.



LOCATION MAP  
NOT TO SCALE



### ABBREVIATIONS

P.A.C. = PUBLIC UTILITY AND DRAINAGE EASEMENT  
S.E. = EASEMENT SURFACE  
S.L. = EASEMENT SURFACE LINE

### GRANTOR'S LEGAL DESCRIPTION

RESUBDIVISION OF HAWTHORN WOODS COUNTRY CLUB - PHASE 5  
VILLAGE OF HAWTHORN WOODS, ILLINOIS  
FINAL PLAT OF SUBDIVISION

### PROPERTY AREA

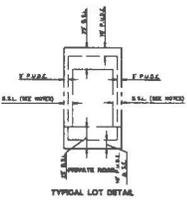
RESUBDIVISION AREA = 147,887 SQ. FT. (3.35 ACRES)  
LOT 827 = 14,800 SQ. FT. (0.34 ACRES)  
TOTAL AREA = 162,687 SQ. FT. (3.69 ACRES)



28 TOTAL LOTS

### TYPICAL BUILDING SETBACK AND EASEMENT DETAILS

1. THE FRONT BUILDING SETBACK SHALL BE 10 FT.
2. REAR YARD SETBACK SHALL BE 10 FT.
3. SIDE YARD SETBACK SHALL BE 5 FT.
4. LOTS 11-15 SHALL BE 10 FEET WIDER THAN THE WIDTH OF THE ADJACENT LOTS.
5. LOTS 17-22 SHALL BE 10 FEET WIDER THAN THE WIDTH OF THE ADJACENT LOTS.



Lot	Area	Acres	Owner	Remarks
820	14,800	0.34	...	...
821	14,800	0.34	...	...
822	14,800	0.34	...	...
823	14,800	0.34	...	...
824	14,800	0.34	...	...
825	14,800	0.34	...	...
826	14,800	0.34	...	...
827	14,800	0.34	...	...
828	14,800	0.34	...	...

Line	Remarks	Length
L1	PROPERTY CORNER	21.27
L2	PROPERTY CORNER	21.27
L3	PROPERTY CORNER	21.27
L4	PROPERTY CORNER	21.27

Sheet	of	Description
1	of 3	PROPOSED LOTS AND EASEMENTS
2	of 3	OFFERED LOTS AND EASEMENT MAPS
3	of 3	RESUBDIVISION

**Manhard CONSULTING**

RESUBDIVISION OF HAWTHORN WOODS COUNTRY CLUB - PHASE 5  
VILLAGE OF HAWTHORN WOODS, ILLINOIS  
FINAL PLAT OF SUBDIVISION

1 - 3

# FINAL PLAT OF RESUBDIVISION OF HAWTHORN WOODS COUNTRY CLUB PHASE 5

BEING A RESUBDIVISION OF ALL OF HAWTHORN WOODS COUNTRY CLUB PHASE 5, WHICH A RESUBDIVISION IS PART OF SECTION 16, TOWNSHIP 14 NORTH, RANGE 10, AND PART OF SECTION 14, TOWNSHIP 14 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LAKE COUNTY, ILLINOIS.

**OWNER'S CERTIFICATE - FARMERS VACATION**

THIS IS TO CERTIFY THAT \_\_\_\_\_ OF THE SEVERAL TRACTS OF LOTS 331 THROUGH 338 AND 340 AND 341 OF HAWTHORN WOODS COUNTRY CLUB PHASE 5, WHICH ARE SHOWN AND DESCRIBED IN THE SUBDIVISION MAP PLATTED FOR THE PURPOSE OF SELLING AND DEVELOPING CERTAIN TRACTS OF LAND IN SAID TOWNSHIP AND RANGE AS HEREIN REFERRED TO:

- 1) SHOWN AS HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 2) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 3) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 4) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 5) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 6) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 7) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2014.

BY: \_\_\_\_\_

**NOTARY PUBLIC - FARMERS VACATION**

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ )

\_\_\_\_\_ A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE OF \_\_\_\_\_

MY COMMISSION EXPIRES ON \_\_\_\_\_ A.D. 2014.

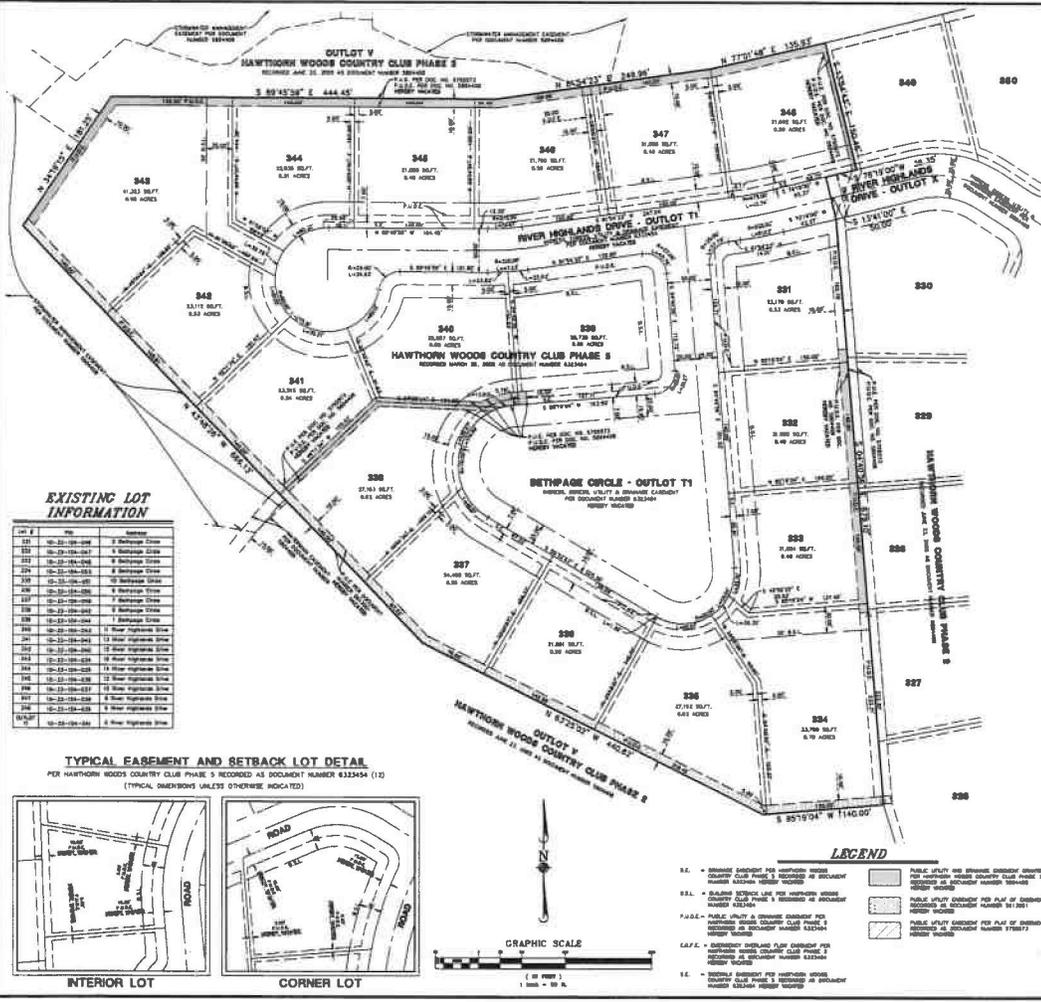
**FARMERS VACATION CERTIFICATE**

THE UNDERSIGNED SUBSCRIBER IN PERSON HAS RECEIVED HERBY RELEASE AND CONSENT TO THE RELEASE, WAIVER AND ASSIGNMENT OF ALL RIGHTS AND INTERESTS IN THE FOLLOWING DESCRIBED AND DESCRIBED TRACTS OF LAND IN SAID TOWNSHIP AND RANGE AS HEREIN REFERRED TO:

- 1) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 2) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 3) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 4) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 5) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 6) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
- 7) HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)

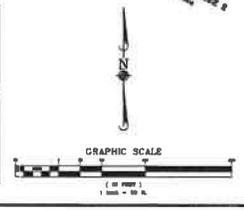
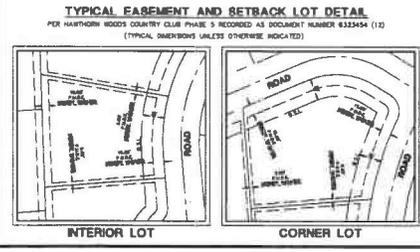
ACCEPTED: \_\_\_\_\_ DATE: \_\_\_\_\_

WITNESSED: \_\_\_\_\_ DATE: \_\_\_\_\_



**EXISTING LOT INFORMATION**

LOT #	AREA	OWNER
348	11,212 SQ FT	6.46 ACRES
347	11,212 SQ FT	6.46 ACRES
346	11,212 SQ FT	6.46 ACRES
345	11,212 SQ FT	6.46 ACRES
344	11,212 SQ FT	6.46 ACRES
343	11,212 SQ FT	6.46 ACRES
342	11,212 SQ FT	6.46 ACRES
341	11,212 SQ FT	6.46 ACRES
340	11,212 SQ FT	6.46 ACRES
339	11,212 SQ FT	6.46 ACRES
338	11,212 SQ FT	6.46 ACRES
337	11,212 SQ FT	6.46 ACRES
336	11,212 SQ FT	6.46 ACRES
335	11,212 SQ FT	6.46 ACRES
334	11,212 SQ FT	6.46 ACRES
333	11,212 SQ FT	6.46 ACRES
332	11,212 SQ FT	6.46 ACRES
331	11,212 SQ FT	6.46 ACRES
330	11,212 SQ FT	6.46 ACRES
329	11,212 SQ FT	6.46 ACRES
328	11,212 SQ FT	6.46 ACRES
327	11,212 SQ FT	6.46 ACRES



- LEGEND**
- 1. HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
  - 2. HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
  - 3. HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)
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  - 7. HAWTHORN WOODS COUNTRY CLUB PHASE 5 RECORDED AS DOCUMENT NUMBER 832344 (OTHER RECORDS)

**Manhard CONSULTING**

RESUBDIVISION OF HAWTHORN WOODS COUNTRY CLUB - PHASE 5  
VILLAGE OF HAWTHORN WOODS, ILLINOIS  
FINAL PLAT OF SUBDIVISION

2 of 3  
TWP/PLAT







**Exhibit F**  
**Landscape Plan**

# Final Landscape Plan

# HAWTHORN WOODS COUNTRY CLUB

PODS 5 & 6  
Hawthorn Woods, Illinois  
July 29, 2024

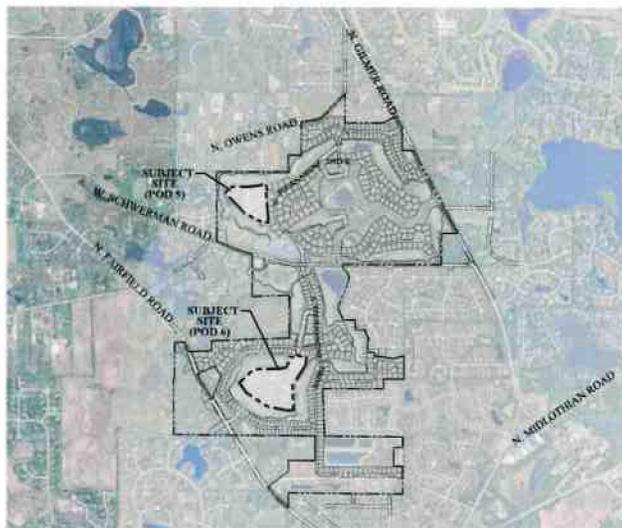
**CONSULTANTS:**



LANDSCAPE ARCHITECT:  
GARY R. WEBER ASSOCIATES, INC.  
402 W LIBERTY DRIVE  
WHEATON, ILLINOIS 60147



CIVIL ENGINEER:  
MANHARD CONSULTING, LTD.  
700 SPRINGER DRIVE  
LOMBARD, ILLINOIS 60148



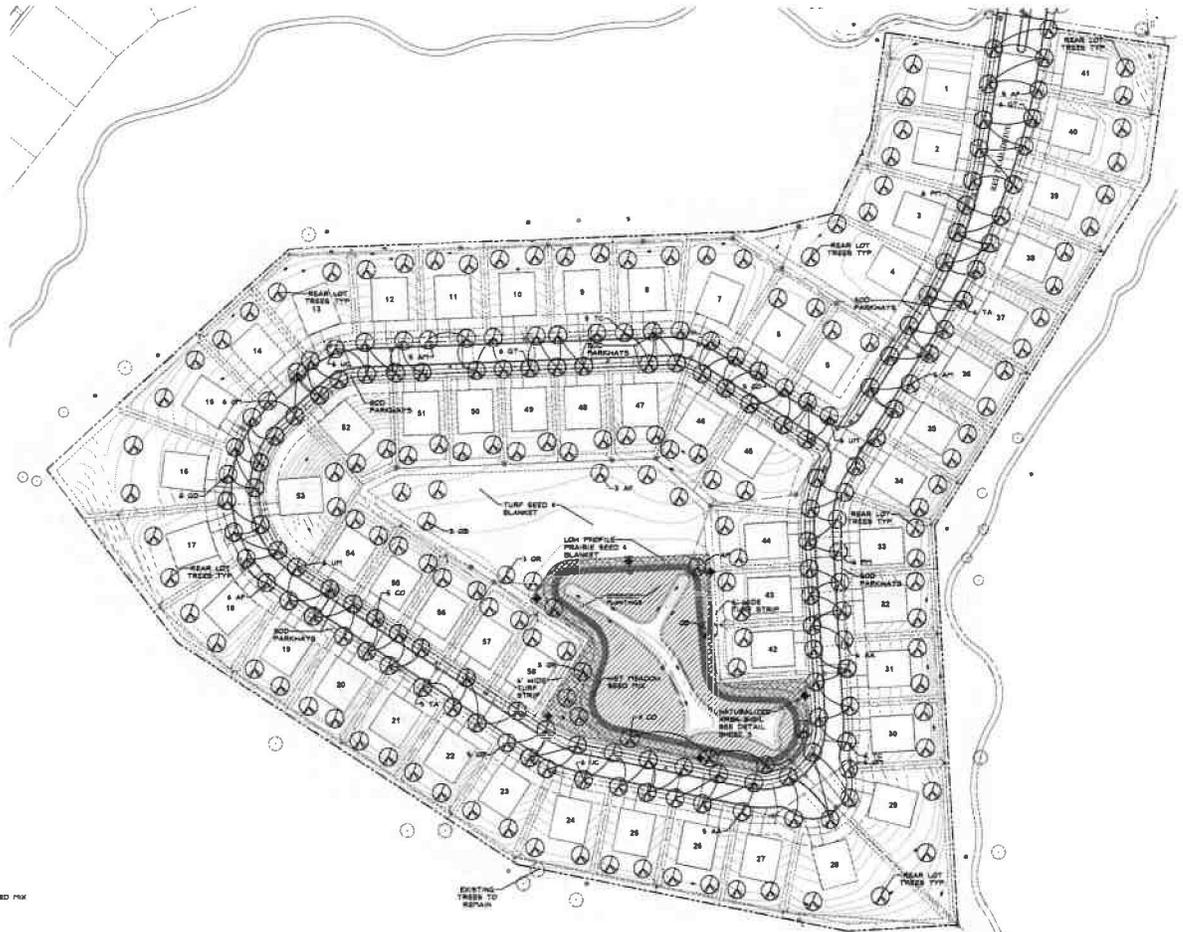
LOCATION MAP  
SCALE: 1"=1,000'

**INDEX OF SHEETS**

SHEET NO.	DESCRIPTION
0	COVER SHEET
1	LANDSCAPE PLAN (POD 5)
2	LANDSCAPE PLAN (POD 6)
3	LANDSCAPE DETAILS
4	TREE PRESERVATION PLAN (POD 5)
5	TREE PRESERVATION PLAN (POD 6)
6	LANDSCAPE SPECIFICATIONS







**NATIVE LEGEND**

Key	Description
[Symbol]	LOW PROFILE PRAIRIE SEED MIX
[Symbol]	EMERGENT SEED MIX
[Symbol]	WET MEADOW SEED MIX
[Symbol]	NATURALIZED AREA SIGN



**DAVE S. WEBB ASSOCIATES, INC.**  
 LANDSCAPE ARCHITECTS  
 400 W. LIBERTY STREET  
 WILMINGTON, ILLINOIS 62704

**M I HOMES**  
 1201 W. 150TH STREET  
 BARRINGTON, ILLINOIS 60015

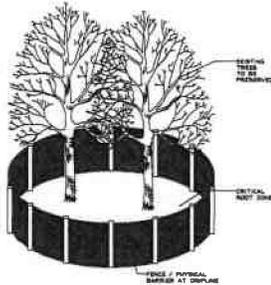
**HAWTHORN WOODS COUNTRY CLUB**  
 HAWTHORN WOODS, ILLINOIS  
**LANDSCAPE PLAN - POD 6**

DATE	07.28.2021
DESIGNED BY	3853221
CHECKED BY	315
DATE	08.18.2021
DATE	08.23.2021
DATE	09.28.2021



**TREE PRESERVATION NOTES**

- All high tension lines or steel barriers shall extend to the diameter of the tree or large tree structural diameter, and be installed before construction begins, and shall not be removed until the completion of construction.
- All accidental damage to existing trees that are to be preserved shall be promptly treated as required in accordance with recognized horticultural practices and the instructions of the professional Arborist, Landscape Architect or manufacturer.
- Broken or badly bruised branches shall be removed with a clean cut. If recommended by the professional Arborist, Landscape Architect or manufacturer.
- Care shall be exercised by the contractor to protect all overhead lines and branches from damage by contact with material, machinery or equipment and by damage from engine exhaust.
- Contractors shall protect trees and vegetation against damage or discharge of fuels, lubricating oils, hydraulic fluids, anti-freeze and caustics, caustic alkalies, lime and all other service materials, agents, chemicals and other materials which can be harmful.
- When underground utilities are present within 5' of a preserved tree trunk, they must be exposed if possible.



**LEGEND**

- 1247 TREE TO BE PRESERVED
- 1248 TREE TO BE REMOVED

**TREE PRESERVATION DETAIL**  
NOT TO SCALE  
SEE NOTES

**NOTED SURVEY DATA**

1. Tree measurements shall be taken by ground crew members.

2. All trees 6" DBH and above (girth) shall have a tag. (Trees less than 6" DBH shall not be tagged.)

3. All trees shall be tagged with the following information:

Tree No.	Species	DBH	Height	Condition	Remarks
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**GARY R. WHEELER ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS  
RESOURCES, CONSULTING  
LANDSCAPE ARCHITECTS  
4615 W. CANTON ROAD  
WILMINGTON, ILLINOIS 62691

**M.I. HOMES**  
THE CITY OF THE FUTURE  
1000 W. CANTON ROAD  
WILMINGTON, ILLINOIS 62691

**HAWTHORN WOODS COUNTRY CLUB**  
HAWTHORN WOODS, ILLINOIS  
**TREE PRESERVATION POD 5**

DATE: 02.28.2004  
PROJECT NO.: 04-0000  
DRAWING NO.: 04-0000-05  
SHEET NO.: 4 OF 6

**REVISIONS AND SUBMITTALS**

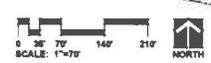
NO.	DATE	DESCRIPTION
1	07/26/2004	ISSUED FOR PERMIT
2	08/16/2004	REVISIONS TO PERMIT
3	08/22/2004	REVISIONS TO PERMIT
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**GENERAL NOTES**

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NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	Excavation	100	CY	10.00	1000.00
2	Backfill	100	CY	10.00	1000.00
3	Gravel	100	CY	10.00	1000.00
4	Asphalt	100	CY	10.00	1000.00
5	Concrete	100	CY	10.00	1000.00
6	Rebar	100	LB	10.00	1000.00
7	Formwork	100	SQ YD	10.00	1000.00
8	Paint	100	GA	10.00	1000.00
9	Landscaping	100	HR	10.00	1000.00
10	Lighting	100	HR	10.00	1000.00
11	Drainage	100	HR	10.00	1000.00
12	Surveying	100	HR	10.00	1000.00
13	Permitting	100	HR	10.00	1000.00
14	Construction	100	HR	10.00	1000.00
15	Inspection	100	HR	10.00	1000.00
16	Testing	100	HR	10.00	1000.00
17	Material	100	HR	10.00	1000.00
18	Labor	100	HR	10.00	1000.00
19	Overhead	100	HR	10.00	1000.00
20	Profit	100	HR	10.00	1000.00

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18	Labor	100	HR	10.00	1000.00
19	Overhead	100	HR	10.00	1000.00
20	Profit	100	HR	10.00	1000.00



**HAWTHORN WOODS COUNTRY CLUB**  
HAWTHORN WOODS, ILLINOIS  
**TREE PRESERVATION PLAN - POD 6**

**5 OF 6**

**DAY & WEBER ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS  
1000 N. WASHINGTON ST., SUITE 200  
CHICAGO, IL 60610  
TEL: 312.280.1000  
WWW.D&W.COM

**M.I. HOMES**  
A DIVISION OF THE M.I. GROUP  
1000 N. WASHINGTON ST., SUITE 200  
CHICAGO, IL 60610  
TEL: 312.280.1000  
WWW.MIHOMES.COM

**REVISIONS**

NO.	DATE	DESCRIPTION
1	07/26/2004	ISSUED FOR PERMIT
2	08/16/2004	REVISIONS TO PERMIT
3	08/22/2004	REVISIONS TO PERMIT
4	08/23/2004	REVISIONS TO PERMIT

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

- The work shall consist of all items, materials, etc. including all seeds, plants and other materials required for:
1. The establishment of trees, shrubs, perennials, and lawn areas as shown on the Landscape Plan.
2. The installation of irrigation systems as specified herein.
3. The installation of lighting systems as specified herein.
4. The design, fabrication and installation of a complete underground irrigation system and
5. Fertilize lawn may be required.

1.2 QUALITY ASSURANCE

- Work shall conform to State of Illinois Horticultural Standards and local nursery requirements.
B. Quality Control Procedures:
1. All landscape materials with certificates of Provenance as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
2. Do not use substitutions. If specified landscape material is not available, request to Landscape Architect prior of non-availability and proceed for use of alternate material.
3. Address and materials. Package standard products with manufacturer's certified analysis.

1.3 MAINT. CARE

- 1. For areas containing standing water less than 1/4" the permit for greater than 1/4" water, drainage work may be necessary. If drainage work is to be installed to provide protection with respect to erosion or stability for the site, the DCA and CDD require landscape protection shall be provided by a qualified professional. Contact the town through the Planning Department, District for assistance.

1.4 SUBMITTALS

- A. Planting Schedule
Submit three (3) copies of the proposed planting schedule showing dates for each type of planting.
B. Maintenance Schedule - Landscape Work
Submit two (2) copies of proposed maintenance recommendations procedures to be submitted to the Owner for the maintenance of landscape work for one full year.
C. Irrigation System
1. Provide a detailed irrigation system recommendation procedure to be submitted to the Owner for the maintenance of landscape work for one full year.
2. Provide a detailed irrigation system recommendation procedure to be submitted to the Owner for the maintenance of landscape work for one full year.
3. Provide a detailed irrigation system recommendation procedure to be submitted to the Owner for the maintenance of landscape work for one full year.
4. Provide a detailed irrigation system recommendation procedure to be submitted to the Owner for the maintenance of landscape work for one full year.

1.5 JOB CONDITIONS

- A. Storms and weather conditions, both before and after. Observe the conditions and report to the Owner. It is the responsibility of the Contractor to ensure that the work is performed in a safe and timely manner.
B. Utilities: Review underground utility location maps and forms, utility maps, utility location maps, and other records and information as specified on plans to determine the location of all utilities.
C. Erosion: When conditions detrimental to site work are encountered such as erosion, or other adverse conditions or obstructions, notify Landscape Architect before starting.

1.6 GUARANTEES

- A. Guarantee against and within areas through the specified maintenance period and until Final Inspection.
B. Guarantee against, including, ground-water and drainage for a period of one year after date of final inspection.
C. Guarantee against, including, ground-water and drainage for a period of one year after date of final inspection.
D. Guarantee against, including, ground-water and drainage for a period of one year after date of final inspection.
E. Guarantee against, including, ground-water and drainage for a period of one year after date of final inspection.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOU

- Provide approved sod seed, not less than 100 lbs per 1000 sq ft of area and include all necessary materials, including, but not limited to, fertilizer, lime, and other materials.
2.2 LAWN SEED MIXTURES
Group Seed: Provide fresh, clean, new seed meeting all the minimum for purity and germination established by the Official Seed Analysis of North America. Provide seed of the same species, proportions and maximum percentages of seed weight, as specified.

- A. Lawn Seed Mixture - 5 lbs / 1,000 sq ft.
B. Color Perennial Seedlings
C. Color Perennial Seedlings
D. Color Perennial Seedlings
E. Color Perennial Seedlings

2.2 TEMPORARY LAWN SEED MIXTURE - 5 lbs / 1,000 sq ft.

- 1. Temporary Lawn Seed Mixture - 5 lbs / 1,000 sq ft.
2. Temporary Lawn Seed Mixture - 5 lbs / 1,000 sq ft.
3. Temporary Lawn Seed Mixture - 5 lbs / 1,000 sq ft.

2.3 NATIVE PLANTING MATERIALS

- Provide fresh, clean, new seed of the species and proportions as specified. Native seed and live plant material shall be obtained from a reputable source (Approved by Landscape Architect) that has collected from sources east of the Mississippi River within the north 30th Parallel in the United States (Native Seed Bank Project). Any material sourced from outside this geographic area shall be approved by the Landscape Architect prior to installation.

2.4 TREES

- A. Name and Variety: Provide nursery when plant material used to name and variety.
B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z601 "Standard for Nursery Stock" and as further specified.
C. Disease Free: Provide trees of height and girth that are free of all signs of disease and other plant problems.
D. Quantity: All plants shall be subject to inspection and review at the time of planting and any plants found to be defective shall be replaced at the expense of the contractor.

2.5 PLANTING SOIL MIXTURES

- Provide planting soil mixture consisting of clean, unamended topsoil (Maximum at 40%) for all planting sites, amended, mixed and granular soils. Topsoil shall be conditioned based on the requirements resulting from the soil test - I.L.C.

2.6 EROSION CONTROL

- A. Erosion Control: Provide Erosion Control Blanket, North American Green D975, or equivalent approved brand.
B. Erosion Control: Provide Erosion Control Blanket, North American Green D975, or equivalent approved brand.
C. Erosion Control: Provide Erosion Control Blanket, North American Green D975, or equivalent approved brand.
D. Erosion Control: Provide Erosion Control Blanket, North American Green D975, or equivalent approved brand.

2.7 FISH

- Provide much consisting of premium certified hermit fish. Provide complete to Landscape Architect for approval prior to installing material.

LANDSCAPE WORK PART 3 - IRRIGATION

3.1 PLANTING SCHEDULE

- At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTING

- A. Seeding New Lawns
1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not burn near the site being prepared for lawn.
2. Till to a depth of 4" and less than 6" depth and amendments as needed.
3. Apply top dress with 1/2" of composted manure, 1/2" of a nitrogenous fertilizer of 10-10-10, and 1/2" of a phosphorous fertilizer of 10-10-10.
4. Seed and water 34 hours from time of seeding.
5. Law and water 34 hours from time of seeding.

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4. Seed and water 34 hours from time of seeding.

C. Seeding New Lawns

- 1. The permit for planting areas shall be from April 1 to May 15 or December 1 to January 15 of the year. Seeding shall be done in the spring and fall.
2. The Contractor shall be responsible for the proper handling and storage of the seed material.
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3. The Contractor shall be responsible for the proper handling and storage of the seed material.
4. The Contractor shall be responsible for the proper handling and storage of the seed material.

C. Seeding New Lawns

- 1. The permit for planting areas shall be from April 1 to May 15 or December 1 to January 15 of the year. Seeding shall be done in the spring and fall.
2. The Contractor shall be responsible for the proper handling and storage of the seed material.
3. The Contractor shall be responsible for the proper handling and storage of the seed material.
4. The Contractor shall be responsible for the proper handling and storage of the seed material.

F. Soil

- 1. The Contractor shall be responsible for the proper handling and storage of the seed material.
2. The Contractor shall be responsible for the proper handling and storage of the seed material.
3. The Contractor shall be responsible for the proper handling and storage of the seed material.

F. Soil

- 1. The Contractor shall be responsible for the proper handling and storage of the seed material.
2. The Contractor shall be responsible for the proper handling and storage of the seed material.
3. The Contractor shall be responsible for the proper handling and storage of the seed material.

F. Soil

- 1. The Contractor shall be responsible for the proper handling and storage of the seed material.
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F. Soil

- 1. The Contractor shall be responsible for the proper handling and storage of the seed material.
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3. The Contractor shall be responsible for the proper handling and storage of the seed material.

F. Soil

- 1. The Contractor shall be responsible for the proper handling and storage of the seed material.
2. The Contractor shall be responsible for the proper handling and storage of the seed material.
3. The Contractor shall be responsible for the proper handling and storage of the seed material.

F. Soil

- 1. The Contractor shall be responsible for the proper handling and storage of the seed material.
2. The Contractor shall be responsible for the proper handling and storage of the seed material.
3. The Contractor shall be responsible for the proper handling and storage of the seed material.

F. Soil

- 1. The Contractor shall be responsible for the proper handling and storage of the seed material.
2. The Contractor shall be responsible for the proper handling and storage of the seed material.
3. The Contractor shall be responsible for the proper handling and storage of the seed material.

Logo for OLEY B. WYBIC ASSOCIATES, INC. and HAWTHORN WOODS COUNTRY CLUB LANDSCAPE SPECIFICATIONS. Includes contact information for OLEY B. WYBIC ASSOCIATES, INC. and HAWTHORN WOODS COUNTRY CLUB.

**Exhibit G**  
**Elevations**



*Hawthorn Woods*  
Country Club

**Neighborhoods 5 & 6**

**M/I Homes Architecture Booklet &  
Foundation Landscaping**

**2/22/24**

Model Name	Plan Type	Bedrooms	SqFT	Garage
Sumner (side load)	Two-Story	4-5	4001	3
Stockton	Two-Story	4-5	3816	3
Stockton (side load)	Two-Story	4-5	3816	3
Sumner	Two-Story	4-5	3405-3887	3
Stanley (side load)	Two-Story	4-5	3334 – 3473	3
Stanley	Two-Story	4-5	3334 - 3473	3
Lyndale	Two-Story	4-5	3360 - 3505	3
Hudson	Two-Story	4-5	3163 - 3831	3
Hudson (side load)	Two-Story	4-5	3163 - 3831	3
Fairbanks	Two-Story	4-5	3001 - 3262	3
Essex	Two-Story	4-6	3044	3
Eastman	Two-Story	4	2892	3
Elbridge	Ranch	2-3	2225 - 2443	3

# Sumner

( Side Load Garage )  
4001 s.f.



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## Color Collection 10

Cap Siding	Harle® - Park Lap Siding
Shake Siding	Harle® - Shake Siding
Exterior Trim	LP - Impel Trim S/A
Shutters	Vinyl - Decorative
Doffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Valders - Oakfield Machine Cut Veneer
Columns	2" Aluminum F-Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Stone per Elevation
Patio Door	60x81 GDD w/ Transom
Garage Door	Steel Insulated - Stone per Elevation
Windows	Vinyl - Low E Insulated 22 U-Value



Front Elevation

Sumner  
Craftsman

  
M/I HOMES  
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Left Elevation



Rear Elevation



Right Elevation

## Sumner Craftsman



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### Color Collection 8

Lap Siding	Hardie® Plank Lap Siding
Vertical Siding	Hardie® Panel Vertical Siding
Exterior Trim	LP SmartTrim 5/4
Shutters	Vinyl Decorative
Gutter & Fascia	Vinyl Aluminum
Roofing	Laminated Architectural Shingles
Stone	Ekena® Vaiders Oakfield Machine Cut Veneer
Brick	Standard Modular
Gutter	3" Aluminum Style
Down Spout	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	42x55GD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 In/Value



Front Elevation

## Sumner English Country

  
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Left Elevation



Rear Elevation



Right Elevation

**Sumner**  
English Country

  
**M/I HOMES**  
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### Color Collection 17

Lap Siding	Hardie® - Rank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shutter Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Capit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Gutters	2" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80GD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

## Sumner Urban Farmhouse

  
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Left Elevation



Rear Elevation



Right Elevation

**Sumner**  
Urban Farmhouse

### Color Collection 7

Lap Siding	Hardie® - Park Lap Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Doffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Single
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	62x70 w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Sumner  
Prairie

  
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Left Elevation



Rear Elevation



Right Elevation

# Sumner Prairie



**M/I HOMES**

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### Color Collection 3

Cape Siding	Hardie® - Plank Lap Siding
Shutter Style	LP - Single Trim SIA
Shutters	Vinyl - Decorative
Garth & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Truss	Standard Modular
Chimney	5" Aluminum - Style
Down Spout	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Front Door	60x80 CDO w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated, 33 U-Value



Front Elevation

Sumner  
Traditional

  
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Left Elevation



Rear Elevation



Right Elevation

Sumner  
Traditional

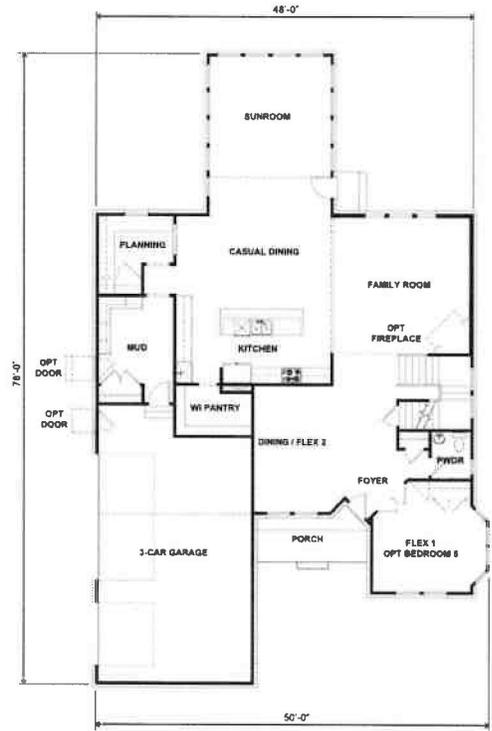
  
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Plan Options



Upper Floor Plan



Main Floor Plan

# Sumner



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### Color Collection 10

Lap Siding	Harvie® - Park Lap Siding
Shake Siding	Harvie® - Single Siding
Exterior Trim	EP - Smart Trim 5/4
Shutters	Way - Decorative
Shells & Fascia	Way / Aluminum
Roofing	Laminated - Arch Textural Single
Brick	Standard Modular
Stone	Edens Valders - Oakfield Machine Cut Veneer
Columns	5" Aluminum Stone
Down Spouts	2 1/2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	40x55 GDI w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl-Lite Insulated 33 1/2" Value



Front Elevation

Sumner  
Craftsman

  
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Left Elevation



Rear Elevation



Right Elevation

# Sumner Craftsman



**M/I HOMES**

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**REAR YARD PLANT LIST- GOLF COURSE LOT**

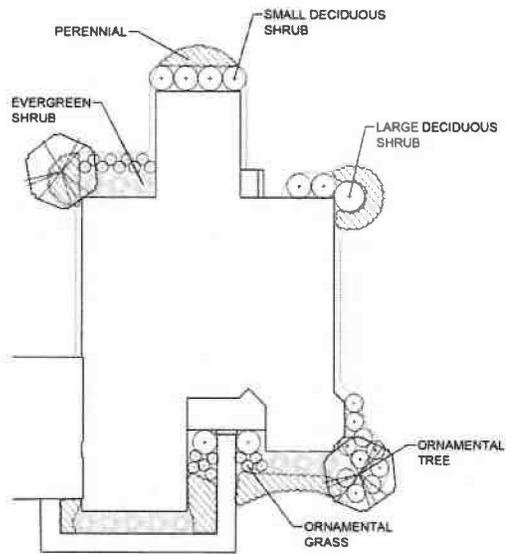
QTY	PLANT TYPE	
[5]	ORNAMENTAL TREES (15' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY 5 REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[6]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS	KARL FOERSTER GRASS BLUE OAT GRASS
[90]	PERENNIALS (1 GAL.) DAWILLY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

**FRONT YARD PLANT LIST-STANDARD**

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (15' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY 5 REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS	KARL FOERSTER GRASS BLUE OAT GRASS
[26]	PERENNIALS (1 GAL.) DAWILLY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Sumner

# Stockton

3816 s.f.



**M/I HOMES**

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### Color Collection 7

Lap Siding	Harbor® - Park Lap Siding
Exterior Trim	IP - Smart Trim 5/4
Shutters	Vinyl - Decorative
Doffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6061GG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E-Insulated 33 U-Value



Front Elevation

**Stockton**  
Arts and Crafts

  
**M/I HOMES**  
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M/I Homes of Chicago  
10.11.21



Rear Elevation



Left Elevation



Right Elevation

**Stockton**  
Arts and Crafts

  
**M/I HOMES**  
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10.11.21

### Color Collection 1

Cap Siding	Hardie® - Faux Lap Siding
Shake Siding	Hardie® - Shake Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Shelf & Fasia	Vinyl - Aluminum
Roofing	Laminated - Architectural Single
Shik	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Gutters	2" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x81 GDI w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 23 U-Value



Front Elevation

Stockton  
Craftsman

  
M/I HOMES  
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10.11.21



Rear Elevation



Left Elevation



Right Elevation

Stockton  
Craftsman

  
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M/I Homes of Chicago  
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### Color Collection 16

Lap Siding	Harle® - Park Lap Siding
Vertical Siding	Harle® - Panel Vertical Siding
Shutter Trim	JP - Light Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Stone	Essex Valders - Oakfield Machine Cut Veneer
Brick	Standard Modular
Gutters	3" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6248 GGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated .33 U-Value



Front Elevation

Stockton  
Low Country

  
M/I HOMES  
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M/I Homes of Chicago  
10.11.21



Rear Elevation



Left Elevation



Right Elevation

Stockton  
Low Country

  
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10.11.21

## Color Collection 12

Lap Siding	Harvest - Park Lap Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Single
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 57mc per Elevation
Patio Door	60x80 TGD w/ Transom
Garage Door	Steel Insulated - 57mc per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Stockton  
Manor

  
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 M/I Homes of Chicago  
 10.11.21



Rear Elevation



Left Elevation



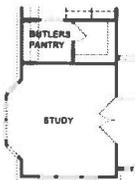
Right Elevation

Stockton  
Manor



M/I HOMES

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Study w/ Butlers Pantry



Study



Guest Room



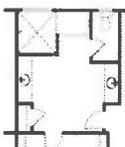
Bedroom 4 w/ Bath



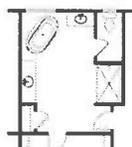
Pocket Office



Bedroom 5



Walk-in Shower



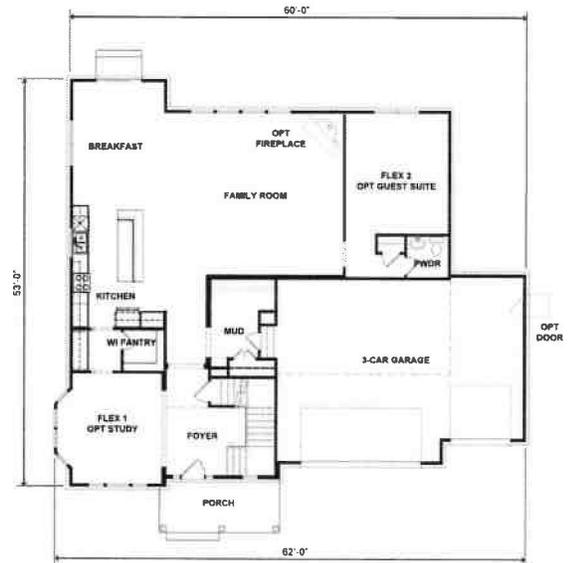
Luxury Bath



Jack / Jill Bath



Upper Floor Plan



Main Floor Plan

Plan Options

# Stockton



**M/I HOMES**

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**Color Collection 7**

Less Siding	Hardie® - Park Lea Siding
Exterior Trim	UP - Smart Trim 614
Shutters	Vinyl - Decorative
Belts & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Grills	Standard Modular
Columns	5" Aluminum K Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Porch Door	#103 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl-Like Insulated 33 U-Value



Front Elevation

**Stockton**  
Arts and Crafts



**M/I HOMES**  
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M/I Homes of Chicago  
10.11.21



Rear Elevation



Left Elevation



Right Elevation

**Stockton**  
Arts and Crafts

  
**M/I HOMES**  
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M/I Homes of Chicago  
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**REAR YARD PLANT LIST- GOLF COURSE LOT**

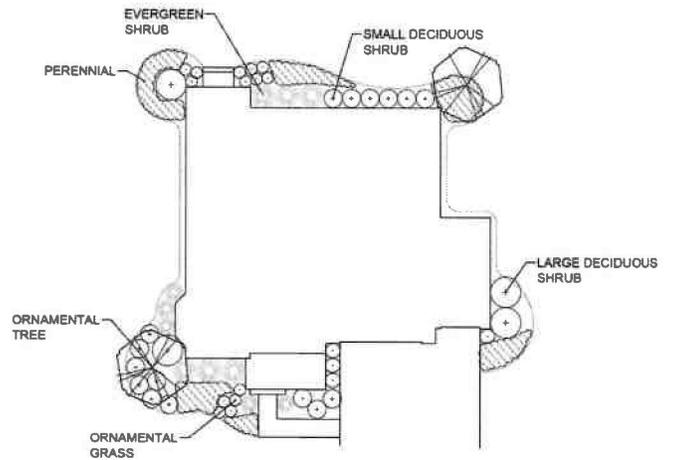
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (9' CLUMP FORM OR 2" GAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELLANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWP DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[8]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWP DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSSEED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[80]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

**FRONT YARD PLANT LIST-STANDARD**

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (9' CLUMP FORM OR 2" GAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELLANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWP DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWP DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSSEED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[28]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Stockton

# **Stockton**

**( Side Load Garage )  
3816 s.f.**

### Color Collection 7

Lap Siding	Harbor® - Pink Lap Siding
Shutter Trim	16" Single Trim 5/4
Shutters	7mm - Decorative
Doffit & Fascia	7mm / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 57mc per Elevation
Patio Door	60x81 GD w/ Transom
Garage Door	Steel Insulated - 57mc per Elevation
Windows	77mc - Low E Insulated 33 U-Value



Front Elevation

**Stockton**  
Arts and Crafts

  
**M/I HOMES**  
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Rear Elevation



Left Elevation



Right Elevation

**Stockton**  
Arts and Crafts

### Color Collection 1

Lap Siding	Harshel - Park Lap Siding
Shake Siding	Harshel - Shingle Siding
Exterior Trim	LP - Smart Trim 614
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eder's Valdes - Oakfield Machine Cut Veneer
Columns	5" Aluminum 4 Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 5 Year per Elevator
Patio Door	2048 IGD w/ Transom
Garage Door	Steel Insulated - 5 Year per Elevator
Windows	Vinyl - Low E Situated 33 U-Value



Front Elevation

**Stockton**  
Craftsman

  
**M/I HOMES**  
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M/I Homes of Chicago  
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Rear Elevation



Left Elevation



Right Elevation

**Stockton  
Craftsman**



**M/I HOMES**

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01.10.22

### Color Collection 16

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Gable & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Stone	Edens Vaden - Oakfield Machine Cut Veneer
Brick	Standard Modular
Column	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x81 GD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 23 U-Value



Front Elevation

Stockton  
Low Country

  
M/I HOMES  
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Rear Elevation



Left Elevation



Right Elevation

Stockton  
Low Country

  
**M/I HOMES**  
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M/I Homes of Chicago  
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### Color Collection 12

Lap Siding	Hardie® - Park Lap Siding
Exterior Trim	LP - Smart Trim 5/8"
Shutters	Zynl® - Decorative
Goffit & Fascia	Zynl® Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 57lbs per Elevator
Patio Door	65lb IGG w/ Transom
Garage Door	Steel Insulated - 57lbs per Elevator
Windows	Zynl® - Low E Insulated 33 U-Value



Front Elevation

**Stockton  
Manor**

  
**M/I HOMES**  
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 M/I Homes of Chicago  
 01.10.22



Rear Elevation

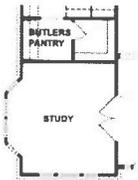


Left Elevation



Right Elevation

Stockton  
Manor



Study w/ Butlers Pantry



Study



Guest Room



Bedroom 4 w/ Bath



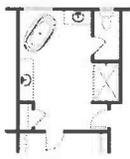
Pocket Office



Bedroom 5



Walk-in Shower



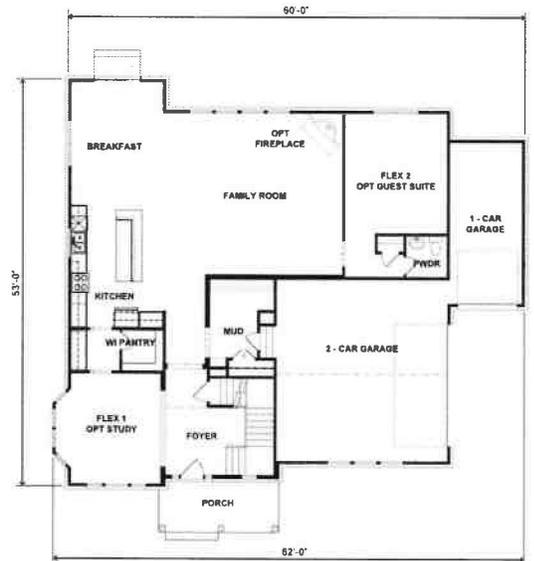
Luxury Bath



Jack / Jill Bath



Upper Floor Plan



Main Floor Plan

Plan Options

# Stockton



**M/I HOMES**

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M/I Homes of Chicago  
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### Color Collection 7

Ceiling Siding	Hardie® - Park Lap Siding
Exterior Trim	LP - Smart Trim SJK
Shutters	Vinyl - Decorative
Garth & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Bricks	Standard Modular
Gutters	Aluminum - Style
Down Spouts	2 1/2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6248 IGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low Insulated 33 L-Value



Front Elevation

**Stockton**  
Arts and Crafts

  
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Rear Elevation



Left Elevation



Right Elevation

**Stockton**  
Arts and Crafts

**REAR YARD PLANT LIST- GOLF COURSE LOT**

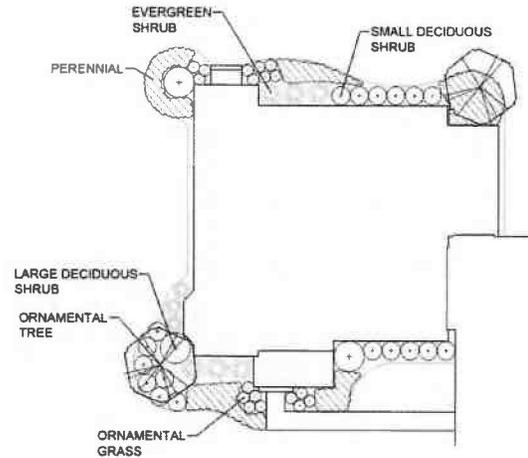
QTY	PLANT TYPE
[1]	ORIENTAL TREES (6" CLUMP FORM OR 2" GAL TREE FORM) CRABAPPLE SPECIES CORNELLIANCHERRY DOGWOOD JAPANESE TREE LILAC
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[6]	SMALL SHRUBS (15" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
[50]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

**FRONT YARD PLANT LIST-STANDARD**

QTY	PLANT TYPE
[1]	ORIENTAL TREES (6" CLUMP FORM OR 2" GAL TREE FORM) CRABAPPLE SPECIES CORNELLIANCHERRY DOGWOOD JAPANESE TREE LILAC
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[10]	SMALL SHRUBS (15" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[8]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
[24]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Stockton

# Sumner

3405 - 3887 s.f.



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### Color Collection 10

Lap Siding	Hardie® - Plank Lap Siding
Shake Siding	Hardie® - Shake Siding
Exterior Trim	LP - Smart Trim S/4
Shutters	Vinyl - Decorative
Gaff & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Single
Brick	Standard / Abouzar
Stone	Essex / Volare - Oakfield Machine Cut Veneer
Gutters	1" Aluminum - E Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 5/8" per Elevation
Patio Door	6081GD w/ Transom
Garage Door	Free Insulated - 5/8" per Elevation
Windows	White Low E Insulated 33 U-Value



Front Elevation

Sumner  
Craftsman

  
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Rear Elevation



Left Elevation



Right Elevation

## Sumner Craftsman



**M/I HOMES**

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### Color Collection 8

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Park Vertical Siding
Exterior Trim	SP - Smart Trim 5/8"
Shutters	Vinyl - Decorative
Shells & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Stone	Eden - Vaders - Oakfield Machine Cut Veneer
Block	Standard Modular
Columns	5" Aluminum 6" Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 GD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 22 U-Value



Front Elevation

**Sumner**  
English Country

  
**M/I HOMES**  
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M/I Homes of Chicago  
10.11.21



Rear Elevation



Left Elevation



Right Elevation

Sumner  
English Country

## Color Collection 17

Lap Siding	Hardie® Plank Lap Siding
Vertical Siding	Hardie® Panel Vertical Siding
Exterior Trim	LP Smart Trim S4
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated Architectural Single
Brick	Standard Medium
Stone	Ekena Vanders - Oakfield Machine Cut Veneer
Gutters	3" Aluminum K Style
Down Spouts	2 x 3 Aluminum
Entry Door	fiberglass Insulated - Style per Elevation
Patio Door	65x81GD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low-E Insulated 33 U-Value



Front Elevation

## Sumner Urban Farmhouse



**M/I HOMES**

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Rear Elevation



Left Elevation



Right Elevation

**Sumner**  
Urban Farmhouse

### Color Collection 7

Lead Siding	Hardwell - Park Lap Siding
Shutter Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Single
Brick	Standard Modular
Coffers	5' Aluminum 1 Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - 51/2" per Elevation
Back Door	60" x 80" w/ Transom
Garage Door	Steel Insulated - 51/2" per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Sumner  
Prairie



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Rear Elevation



Left Elevation



Right Elevation

# Sumner Prairie



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### Color Collection 3

Lap Siding	Hardie® - Park Lap Siding
Exterior Trim	SP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 51/2" per Elevation
Patio Door	6048 500 w/ Transom
Garage Door	Steel Insulated - 51/2" per Elevation
Windows	Vinyl - Low E Insulated, 33 U-Value



Front Elevation

Sumner  
Traditional



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Rear Elevation



Left Elevation



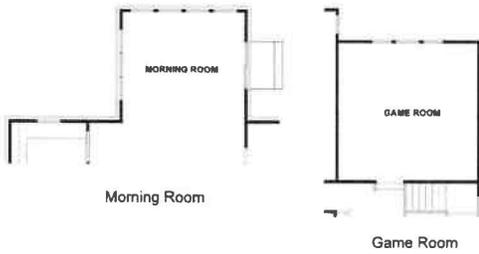
Right Elevation

Sumner  
Traditional



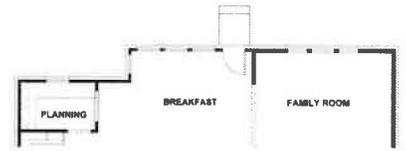
M/I HOMES

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M/I Homes of Chicago  
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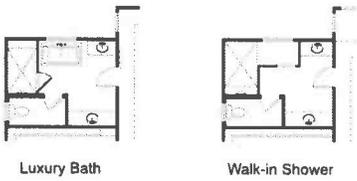


Morning Room

Game Room

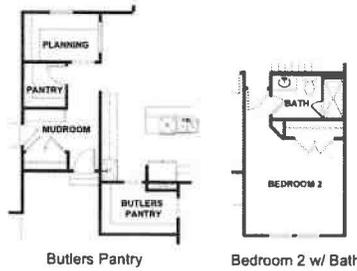


Extended Family Room



Luxury Bath

Walk-in Shower



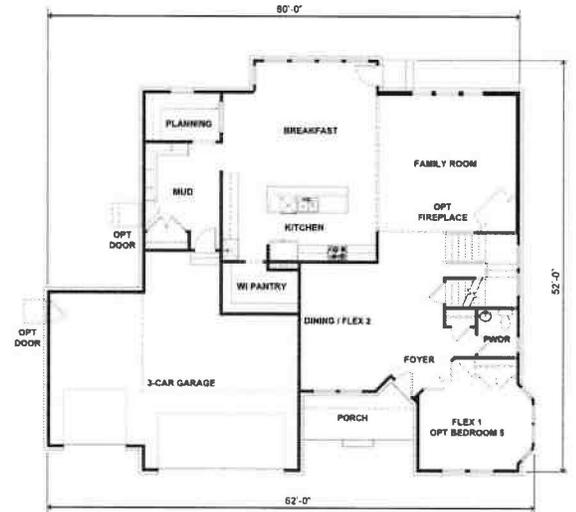
Butlers Pantry

Bedroom 2 w/ Bath

Plan Options



Upper Floor Plan



Main Floor Plan

# Sumner



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M/I Homes of Chicago  
01.10.22

### Color Collection 10

Lap Siding	Hardie® - Park Lap Siding
Shake Siding	Hardie® - Shake Siding
Exterior Trim	UP - Smart Trim S/4
Shutters	Vinyl - Decorative
Columns & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Vaders - Oakfield Machine Cut Veneer
Soffits	S - Aluminum F-Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass MultiMate - Style per Elevation
Patio Door	6000 w/ Transom
Garage Door	3 Year Insulated - 5 Year per Elevation
Windows	Vinyl - Low E Insulated 33 or Value



Front Elevation

**Sumner  
Craftsman**

  
**M/I HOMES**  
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 M/I Homes of Chicago  
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Rear Elevation



Left Elevation



Right Elevation

# Sumner Craftsman



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10.11.21

**REAR YARD PLANT LIST- GOLF COURSE LOT**

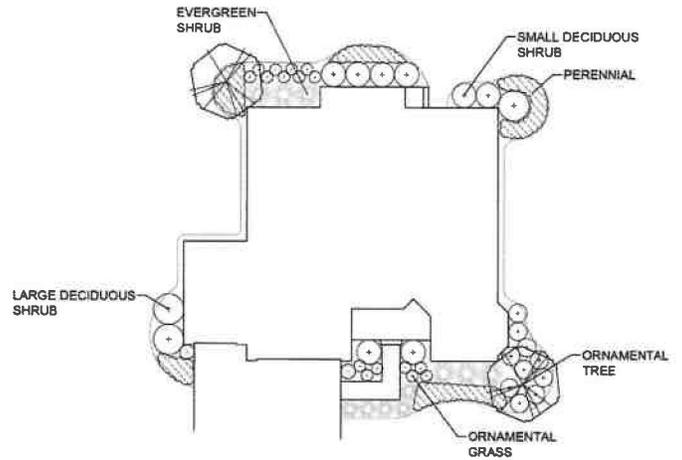
QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (6' CLUMP FORM OR 2" GAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[8]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[8]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[100]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

**FRONT YARD PLANT LIST-STANDARD**

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (6' CLUMP FORM OR 2" GAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[8]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[28]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Sumner

# Stanley

3334 - 3473 s.f.



**M/I HOMES**

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M/I Homes of Chicago  
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### Color Collection 2

Cap Siding	Hardie® - Park Lap Siding
Shake Siding	Hardie® - Single Siding
Exterior Trim	UP - Smart Trim 5/4
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Stairs	Standard Modular
Stone	Eden's Vanders - Oakfield Machine Cut Veneer
Columns	5" Aluminum 1.5" Dia
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - 5/8" per Elevation
Patio Door	6048 IGD w/ Transom
Garage Door	Steel Insulated - 5/8" per Elevation
Windows	Vinyl - Low E Insulated 1/2" U-Value



Front Elevation

**Stanley  
Craftsman**

  
**M/I HOMES**  
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 M/I Homes of Chicago  
 10.11.21



Rear Elevation



Left Elevation



Right Elevation

**Stanley  
Craftsman**

  
**M/I HOMES**  
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M/I Homes of Chicago  
01.10.22

### Color Collection 6

Lap Siding	Harde@ - Park Lap Siding
Vertical Siding	Harde@ - Panel Vertical Siding
Exterior Trim	LP - Inset Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Single
Stone	Ekena Vaders - Oakfield Machine Cut Veneer
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80GD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 23 U-Value



Front Elevation

**Stanley**  
English Country

  
**M/I HOMES**  
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M/I Homes of Chicago  
10.11.21



Rear Elevation



Left Elevation



Right Elevation

**Stanley**  
English Country



**M/I HOMES**

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10.11.21

### Color Collection 7

Lap Siding	Hardie® - Park Lap Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 57/16 per Elevator
Patio Door	6548 TGD w/ Transom
Garage Door	Steel Insulated - 57/16 per Elevator
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

**Stanley  
Prairie**

  
**M/I HOMES**  
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 M/I Homes of Chicago  
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Rear Elevation



Left Elevation



Right Elevation

**Stanley**  
Prairie

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.11.21

### Color Collection 3

Cape Siding	Hardie® - Park Lap Siding
Exterior Trim	LP - Smart Trim S/4
Shutters	Kirby - Decorative
Soffit & Fascia	Kirby - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 57 in. per Elevation
Patio Door	60 in. LGW / Transom
Garage Door	Steel Insulated - 57 in. per Elevation
Windows	Kirby - Low E Insulated 33 U-Value



Front Elevation

**Stanley**  
Traditional

  
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M/I Homes of Chicago  
01.10.22



Rear Elevation



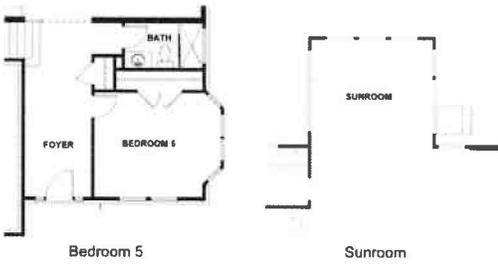
Left Elevation



Right Elevation

**Stanley**  
Traditional

  
**M/I HOMES**  
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M/I Homes of Chicago  
01.10.22

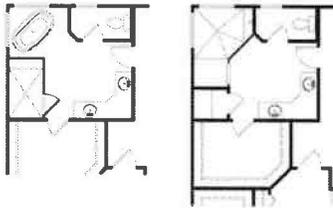


Bedroom 5

Sunroom



Bedroom 3 w/ Bath



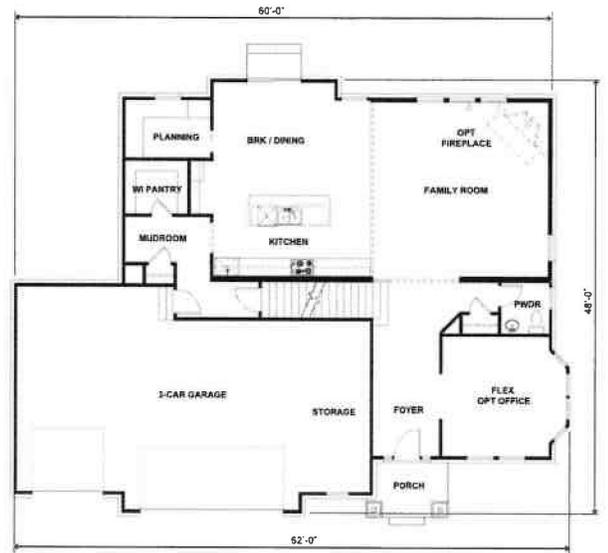
Luxury Bath

Walk-in Shower

Plan Options



Upper Floor Plan



Main Floor Plan

# Stanley



**M/I HOMES**

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M/I Homes of Chicago  
01.10.22

## Color Collection 2

Lac Siding	Hardie® - Park Lac Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	LP Smart-Tech S14
Shutters	Wright Decorative
Garage & Patio	Veyo Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Valders - Oakfield Machine Cut Veneer
Columns	3" Aluminum, Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	4048 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Wing - Low E Insulated 33 U-Value



Front Elevation

**Stanley  
Craftsman**

  
**M/I HOMES**  
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M/I Homes of Chicago  
10.11.21



Rear Elevation



Left Elevation



Right Elevation

**Stanley  
Craftsman**

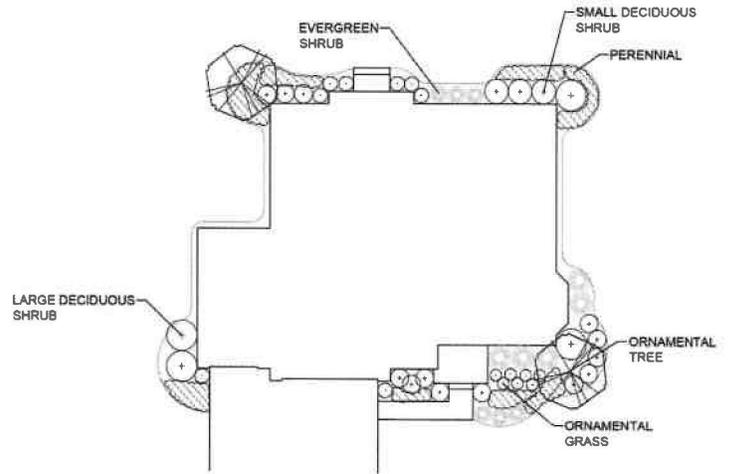
  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.11.21

**REAR YARD PLANT LIST- GOLF COURSE LOT**

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (6' CLUMP FORM OR 2" GAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[6]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPS EED FLAMING MOOR GRASS
[60]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

**FRONT YARD PLANT LIST-STANDARD**

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (6' CLUMP FORM OR 2" GAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[6]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPS EED FLAMING MOOR GRASS
[24]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Stanley

**M/I HOMES**  
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M/I Homes of Chicago  
10.11.21

# Stanley

( Side Load Garage)  
3334 - 3473 s.f.



**M/I HOMES**

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M/I Homes of Chicago  
01.10.22

### Color Collection 2

Lap Siding	Harshel - Park Lap Siding
Shake Siding	Harshel - Shake Siding
Exterior Trim	LP - Linen Trim 5/4
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Gutters	3" Aluminum K Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiber-glass Insulated - 57 lbs per Elevator
Patio Door	65 lbs FGD w/ Transom
Garage Door	Steel Insulated - 57 lbs per Elevator
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

**Stanley  
Craftsman**

  
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Rear Elevation



Left Elevation



Right Elevation

Stanley  
Craftsman



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**Color Collection 6**

Cap Siding	Harle® - Park Lap Siding
Vertical Siding	Harle® - Panel Vertical Siding
Exterior Trim	J.P. Smart Trim 5/4
Shutters	Vinyl Decorative
Shutters & Fascia	White / Aluminum
Roofing	Laminated - Architectural Shingles
Stone	Edens Valders - Oakfield Machine Cut Veneer
Brick	Standard Modular
Columns	5 Aluminum 4 Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 GGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl Low E Insulated 23 U-Value



Front Elevation

**Stanley**  
English Country





Rear Elevation



Left Elevation



Right Elevation

**Stanley**  
English Country



**M/I HOMES**

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01.10.22

### Color Collection 7

Lap Siding	Hardie® - Park Lap Siding
Exterior Trim	LP - Smart Mem. S4
Shutters	King - Decorative
Trim & Fascia	White / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Stripe per Elevation
Patio Door	60x81GG w/ Transom
Garage Door	Steel Insulated - Stripe per Elevation
Windows	King - Low E Insulated 32 U-Value



Front Elevation

Stanley  
Prairie

  
**M/I HOMES**  
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M/I Homes of Chicago  
01.10.22



Rear Elevation



Left Elevation



Right Elevation

**Stanley**  
Prairie



**M/I HOMES**

Welcome to Better  
M/I Homes of Chicago  
01.10.22

### Color Collection 3

Lap Siding	Hardie® - Plank Lap Siding
Exterior Trim	LP - Smart Trim 5/8"
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Single
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 57 lbs per Elevation
Patio Door	60x81GD w/ Transom
Garage Door	Steel Insulated - 57 lbs per Elevation
Windows	Vinyl - Low E Insulated - 55 sq. Value



Front Elevation

**Stanley**  
Traditional

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
01.10.22



Rear Elevation



Left Elevation



Right Elevation

**Stanley**  
Traditional

  
**M/I HOMES**  
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M/I Homes of Chicago  
01.10.22



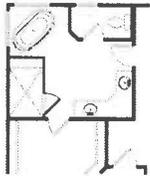
Bedroom 5



Sunroom



Bedroom 3 w/ Bath



Luxury Bath

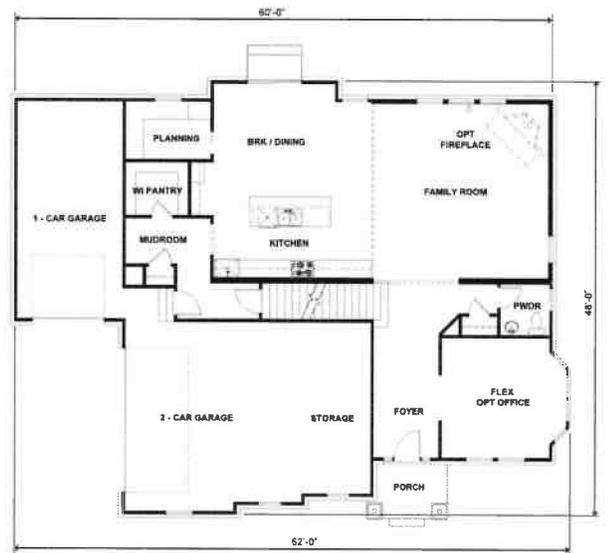


Walk-in Shower

Plan Options



Upper Floor Plan



Main Floor Plan

Stanley



M/I HOMES

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M/I Homes of Chicago  
01.10.22

### Color Collection 2

Lap Siding	Hardie® - Park Lap Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	LP Smart Trim S14
Shutters	Wyn® Decorative
Soffit & Fascia	Wyn® Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eder's Vaden - Oakfield Machine Cut Veneer
Stylers	5" Aluminum 1 Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 51/2" per Elevation
Patio Door	65" x 80" w/ Transom
Garage Door	Steel Insulated - 51/2" per Elevation
Windows	Wyn® Low Emissivity 33 U-Value



Front Elevation

**Stanley  
Craftsman**

  
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Rear Elevation



Left Elevation



Right Elevation

**Stanley  
Craftsman**

  
**M/I HOMES**  
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**REAR YARD PLANT LIST- GOLF COURSE LOT**

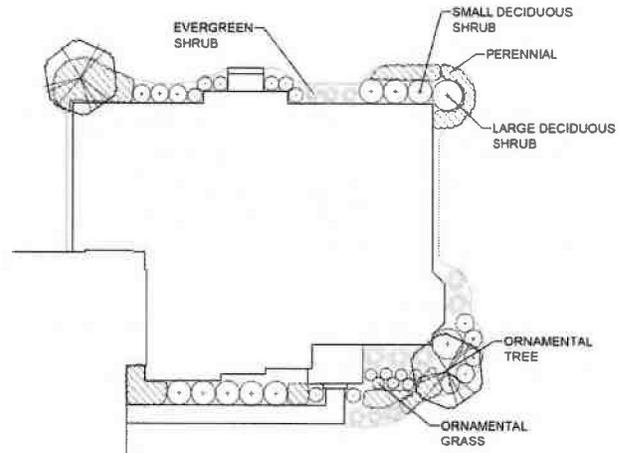
QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (5' CLUMP FORM OR 2" CAL TREE FORM) CRABAPPLE SPECIES CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[9]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[2]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[2]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED FLAMING MOOR GRASS	KARL FOERSTER GRASS BLUE OAT GRASS
[10]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

**FRONT YARD PLANT LIST-STANDARD**

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (5' CLUMP FORM OR 2" CAL TREE FORM) CRABAPPLE SPECIES CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[2]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[2]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED FLAMING MOOR GRASS	KARL FOERSTER GRASS BLUE OAT GRASS
[10]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Stanley

  
**M/I HOMES**  
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# Lyndale

3360 - 3505 s.f.



**M/I HOMES**

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M/I Homes of Chicago

01.10.22

### Color Collection 6

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Single Siding
Exterior Trim	LP - Smart Trim S4
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Columns	5" Aluminum R Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6048 LGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 23 U-Value



Front Elevation

Lyndale  
Artisan

  
**M/I HOMES**  
 Welcome to Better  
 M/I Homes of Chicago  
 10.11.21



Rear Elevation



Left Elevation



Right Elevation

Lyndale  
Artisan



M/I HOMES

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M/I Homes of Chicago  
10.11.21

### Color Collection 7.1

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP Smart-Ton 5/4
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Bricks	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 Glass / Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

**Lyndale**  
Colonial Revival

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.11.21



Rear Elevation



Left Elevation



Right Elevation

**Lyndale**  
Colonial Revival



**M/I HOMES**

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M/I Homes of Chicago  
10.11.21

### Color Collection 8

Lap Siding	Hardie® - Plank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP - Linear Trim S14
Shutters	Vinyl - Decorative
Coffin & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden & Volans - Oakfield Machine Cut Veneer
Gutters	5" Aluminum K Style
Downspouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
patio Door	60x80GD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 L-Value



Front Elevation

Lyndale  
Craftsman

  
**M/I HOMES**  
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 M/I Homes of Chicago  
 10.11.21



Rear Elevation



Left Elevation



Right Elevation

**Lyndale**  
Craftsman

## Color Collection 16 FH

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	SP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Shink	Standard Modular
Stone	Eden & Voliers - Oakfield Machine Cut Veneer
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80GD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

## Lyndale Urban Farmhouse



Rear Elevation

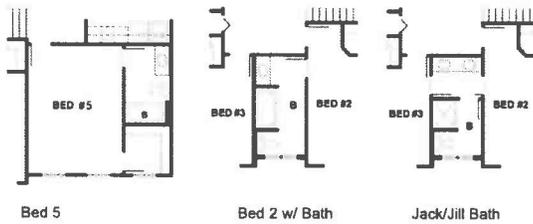


Left Elevation



Right Elevation

**Lyndale**  
Urban Farmhouse



Bed 5

Bed 2 w/ Bath

Jack/Jill Bath



Morning Rm

Luxury Bath

Walk-in Shower

Study

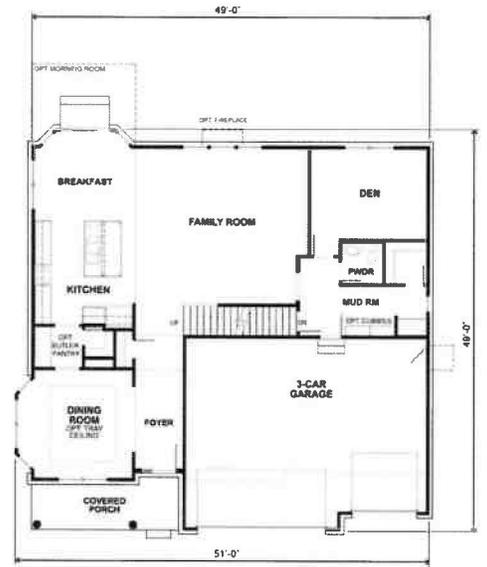
Guest Rm

Butler Pantry

Plan Options



Upper Floor Plan



Main Floor Plan

# Lyndale



**M/I HOMES**

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M/I Homes of Chicago  
10.11.21

**Color Collection 6**

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Single Shake Siding
Elevator Trim	SP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated® - Architectural Shingles Standard Modular
Shake	Eden's Valdes - Oakfield Machine Cut Veneer
Gutters	5" Aluminum I-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglas Insulated - Style per Elevation
Patio Door	3048 UGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

**Lyndale**  
Artisan

  
**M/I HOMES**  
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M/I Homes of Chicago  
10.11.21



Rear Elevation



Left Elevation



Right Elevation

Lyndale  
Artisan

REAR YARD PLANT LIST- GOLF COURSE LOT

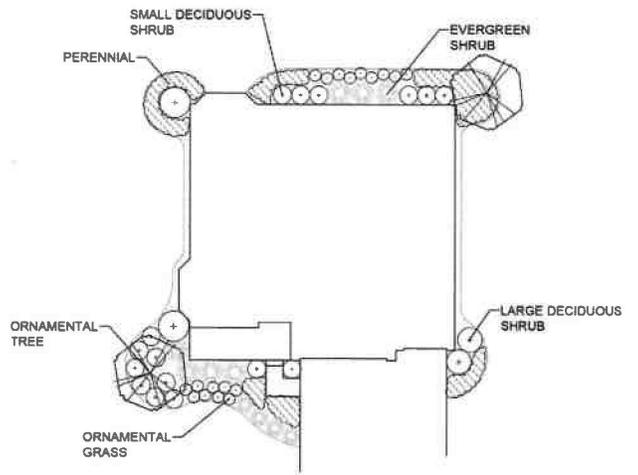
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (6' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[1]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTIG DOGWOOD HYDRANGEA SPECIES*
[6]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[3]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSSEED FLAMING MOOR GRASS
[50]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (6' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[4]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTIG DOGWOOD HYDRANGEA SPECIES*
[16]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[9]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSSEED FLAMING MOOR GRASS
[28]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Lyndale

# Hudson

3163 - 3831 s.f.



**M/I HOMES**

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M/I Homes of Chicago  
01.10.22

## Color Collection 18

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	SP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden & Volans - Oakfield Machine Cut Veneer
Columns	3" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	2248 GGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 23 U-Value



Front Elevation

**Hudson**  
Artisan

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.11.21



Rear Elevation



Left Elevation



Right Elevation

Hudson  
Artisan

### Color Collection 7

Lap Siding	Hardie® - Park Lap Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Lintel & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 57mc per Elevation
Patio Door	60x80 w/ Transom
Garage Door	Steel Insulated - 57mc per Elevation
Windows	Vinyl - Low E Insulated .33 U-Value



Front Elevation

**Hudson**  
Colonial Revival

  
**M/I HOMES**  
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M/I Homes of Chicago  
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Rear Elevation



Left Elevation



Right Elevation

**Hudson**  
Colonial Revival

  
**M/I HOMES**  
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M/I Homes of Chicago  
10.11.21

### Color Collection 2.1

Lap Siding	Harle® Park Lap Siding
Shake Siding	Harle® Single Shake
Exterior Trim	CP - Smart Trim S14
Shutters	Vinyl Decorative
Gutter & Fascia	Vinyl Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valden - Oakfield Machine Cut Veneer
Gutters	3" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6258 IQD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl Low E Insulated 33 U-Value



Front Elevation

**Hudson  
Craftsman**

  
**M/I HOMES**  
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 M/I Homes of Chicago  
 10.11.21



Rear Elevation



Left Elevation



Right Elevation

Hudson  
Craftsman

  
**M/I HOMES**  
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M/I Homes of Chicago  
10.11.21

## Color Collection 17 FH

Lap Siding	Hardie® - Plank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP - Smart Trim S4x
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden - Volcan - Oakfield Machine Cut Veneer
Gutters	2" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x81GD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 23 U-Value



Front Elevation

## Hudson Urban Farmhouse



Rear Elevation



Left Elevation

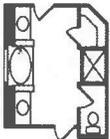


Right Elevation

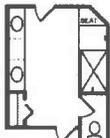
## Hudson Urban Farmhouse



In-law Suite



Luxury Bath



Walk-in Shower



Bonus Room / Bedroom 5



Jack / Jill Bath

Plan Options



Upper Floor Plan



Main Floor Plan

# Hudson



**M/I HOMES**

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M/I Homes of Chicago  
10.11.21

### Color Collection 18

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shutter Trim	LP - Smart Trim S14
Shutters	Wright Decorative
Deck & Fascia	Wright Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Stone	Eden & Vaders - Oakfield Machine Cut Veneer
Gutters	3" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Elevators	Fiberglass Insulated - Style per Elevation
patio Door	6048 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Wright - Low E Insulated 33 L-Value



Front Elevation

**Hudson**  
Artisan

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.11.21



Rear Elevation



Left Elevation



Right Elevation

Hudson  
Artisan



M/I HOMES

Welcome to Better  
M/I Homes of Chicago  
10.11.21

**REAR YARD PLANT LIST- GOLF COURSE LOT**

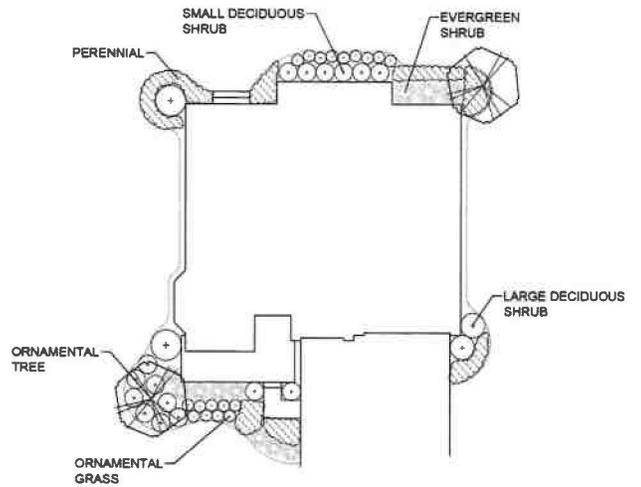
QTY	PLANT TYPE	
(1)	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
(1)	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
(5)	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
(3)	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
(9)	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
(60)	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

**FRONT YARD PLANT LIST-STANDARD**

QTY	PLANT TYPE	
(1)	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
(4)	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
(10)	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
(8)	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
(9)	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
(28)	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Hudson

# Hudson

( Side Load Garage )  
3163 - 3831 s.f.



**M/I HOMES**

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01.10.22

### Color Collection 18

Lap Siding	Hardie® - Rank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Elevator Trim	EP - Linear Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Gutters	5" Aluminum F-Style
Down Spouts	2" X 3" Aluminum
Entry Door	Fiberglass Insulated - 57 lbs per Elevator
Patio Door	6248 CGD w/ Transom
Garage Door	Steel Insulated - 57 lbs per Elevator
Windows	Vinyl - Low E Insulated .33 U-Value



Front Elevation

**Hudson**  
Artisan

  
**M/I HOMES**  
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M/I Homes of Chicago  
01.10.22



Rear Elevation



Left Elevation



Right Elevation

Hudson  
Artisan

### Color Collection 7

Cap Siding	Wardwell - Park Cap Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 5/8" per Elevation
Half Bath	6055 IGD w/ Transom
Garage Door	Steel Insulated - 5/8" per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

**Hudson**  
Colonial Revival

  
**M/I HOMES**  
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01.10.22



Rear Elevation



Left Elevation



Right Elevation

**Hudson**  
Colonial Revival

## Color Collection 2.1

Cap Siding	Hardie® - Park Lap Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	EP - Smart Trim 5/4
Shutters	Vinyl - Decorative
Goffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Gutters	3" Aluminum K-Style
Down Spout	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 57lbs per Elevator
Patio Door	60x80 w/ Transom
Garage Door	Free Insulated - 57lbs per Elevator
Windows	White - Low E Insulated - 33 U-Value



Front Elevation

Hudson  
Craftsman

  
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 M/I Homes of Chicago  
 01.10.22



Rear Elevation



Left Elevation



Right Elevation

Hudson  
Craftsman

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
01.10.22

## Color Collection 17 FH

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Park Vertical Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Xin® - Decorative
Soffit & Fascia	Edge® Aluminum
Roofing	Laminated - Architectural Shingles
Erick	Standard Modular
Stone	Eden's Valdes - Oxford Machine Cut Veneer
Gutters	5" Aluminum Stone
Downspouts	2 x 2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x81 GDI Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Xin® - Low E Insulated 33 U-Value



Front Elevation

## Hudson Urban Farmhouse



**M/I HOMES**

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M/I Homes of Chicago  
01.10.22



Rear Elevation



Left Elevation



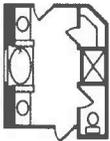
Right Elevation

# Hudson

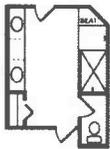
Urban Farmhouse



In-law Suite



Luxury Bath



Walk-in Shower



Bonus Room / Bedroom 5

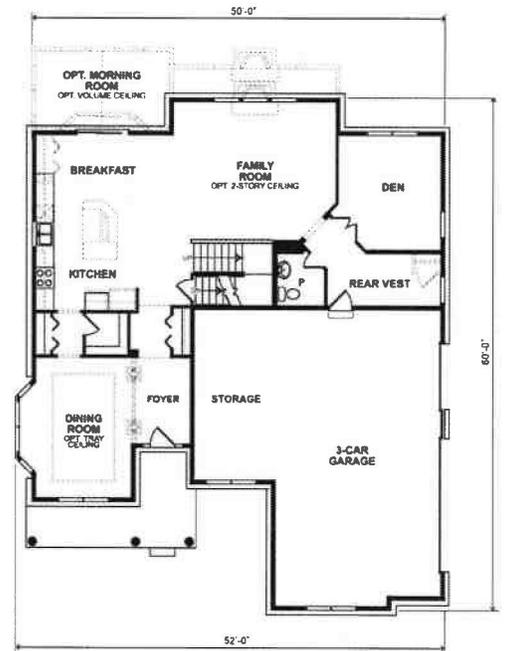


Jack / Jill Bath

Plan Options



Upper Floor Plan



Main Floor Plan

# Hudson



**M/I HOMES**

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## Color Collection 18

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Pine Vertical Siding
Exterior Trim	SP - Smart Trim SIA
Shutters	W/Al - Decorative
Doffit & Fascia	W/Al - Aluminum
Roofing	Laminated - Architectural Single
Brick	Standard Modular
Stone	Eden® Vanders - Oakfield Machine Cut Veneer
Columns	2" Aluminum Style
Down Spouts	2" x 2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x8 SDD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/Al - Low E Insulated 33 U-Value



Front Elevation

Hudson  
Artisan

  
M/I HOMES  
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Rear Elevation



Left Elevation



Right Elevation

Hudson  
Artisan

**REAR YARD PLANT LIST- GOLF COURSE LOT**

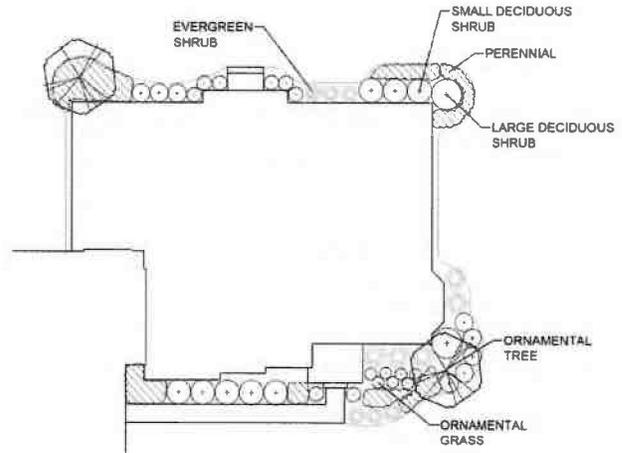
QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (5' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[5]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[6]	SMALL SHRUBS (15" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSSEED FLAMING MOOR GRASS	KARL FOERSTER GRASS BLUE OAT GRASS
[50]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

**FRONT YARD PLANT LIST-STANDARD**

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (5' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (15" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSSEED FLAMING MOOR GRASS	KARL FOERSTER GRASS BLUE OAT GRASS
[24]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Hudson

# Fairbanks

3001 - 3262 s.f.



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### Color Collection 8

Lap Siding	Harvest - Park Lap Siding
Vertical Siding	Harvest - Park Vertical Siding
Shake Siding	Harvest - Shingle Siding
Exterior Trim	JP - Smart Trim Siding
Shutters	Vine - Decorative
Jeppit & Fascia	Vine - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Essex - Vanders - Oakfield Machine Cut veneer
Gutters	S - Aluminum Style
Down Spout	2 x 2 Aluminum
Entry Door	Fiber glass Insulated - Style per Elevation
Patio Door	6058 UGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vine - Low E Insulated 33 U-Value



Front Elevation

Fairbanks  
Artisan

  
M/I HOMES  
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Rear Elevation



Left Elevation



Right Elevation

# Fairbanks Artisan



**M/I HOMES**

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### Color Collection 6

Lap Siding	Hardie® - Park Lap Siding
Exterior Trim	6" - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 51mc per Elevation
Patio Door	6266 SGD w/ Transom
Garage Door	Steel Insulated - 51mc per Elevation
Windows	Vinyl - Low E Insulated - 33 U-Value



Front Elevation

**Fairbanks**  
Colonial Revival

  
**M/I HOMES**  
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Rear Elevation



Left Elevation



Right Elevation

**Fairbanks**  
Colonial Revival

### Color Collection 11

Lap Siding	Harvest - Park Lap Siding
Shake Siding	Harvest - Shingle Siding
Exterior Trim	LP - Smart Trim 5/4
Shutters	Yin - Decorative
Soffit & Fascia	Yin - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden - Volcan - Oakfield Machine Cut Veneer
Gutters	5" Aluminum K Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - 5/8" per Elevation
Patio Door	60x100 w/ Transom
Garage Door	3/4" Insulated - 5/8" per Elevation
Windows	Yin - Low E Insulated 33 U-Value



Front Elevation

Fairbanks  
Craftsman

  
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 M/I Homes of Chicago  
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Rear Elevation



Left Elevation



Right Elevation

Fairbanks  
Craftsman



M/I HOMES

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10.11.21

## Color Collection 16 FH

Lap Siding	Harvest - Plank Lap Siding
Vertical Siding	Harvest - Plank Vertical Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Vaden - Oakfield Machine Cut Veneer
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 5 1/2" per Elevator
Patio Door	60" x 100" w/ Transom
Garage Door	Steel Insulated - 5 1/2" per Elevator
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

**Fairbanks**  
Urban Farmhouse

  
**M/I HOMES**  
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M/I Homes of Chicago  
10.11.21



Rear Elevation



Left Elevation



Right Elevation

**Fairbanks**  
Urban Farmhouse



# Fairbanks

### Color Collection 8

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	UP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Gutter	3" Aluminum / Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 GDE w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Fairbanks  
Artisan

  
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Rear Elevation



Left Elevation



Right Elevation

**Fairbanks**  
Artisan



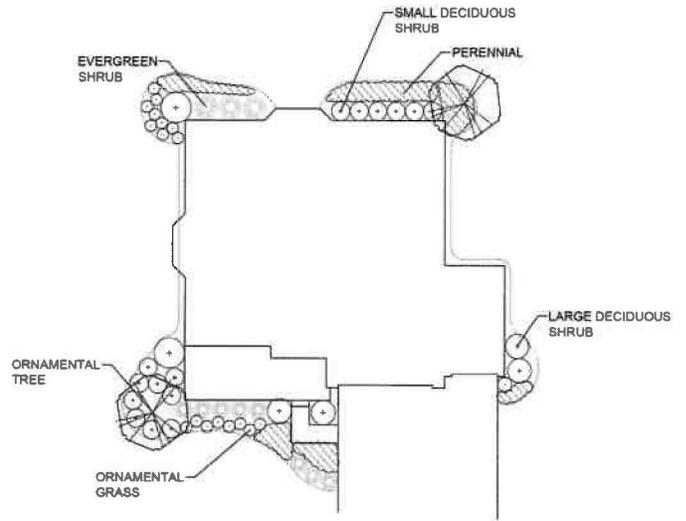
**M/I HOMES**

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10.11.21

REAR YARD PLANT LIST- GOLF COURSE LOT

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES: (6' CLUMP FORM OR 2" GAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[9]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSSEED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[60]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES: (6' CLUMP FORM OR 2" GAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[6]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSSEED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[24]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

Fairbanks

# Essex

3304 s.f.



**M/I HOMES**

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01.10.22

### Color Collection 14

Cape Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	LP - Smart Trim S/J4
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Vanders - Oakfield Machine Cut Veneer
Gutters	5" Aluminum Style
Down Spout	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	62x100 w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

**Essex**  
Artisan

  
**M/I HOMES**  
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M/I Homes of Chicago  
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Rear Elevation



Left Elevation



Right Elevation

**Essex**  
Artisan

  
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### Color Collection 8

Lap Siding	Ward® - Park Lap Siding
Exterior Trim	LP - Smart Trim 5/8"
Shutters	Vinyl - Decorative
Dormer & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spout	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6500 SDD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 35 U-Value



Front Elevation

**Essex**  
Colonial Revival

  
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10.11.21



Rear Elevation



Left Elevation



Right Elevation

**Essex**  
Colonial Revival

### Color Collection 5

Ceiling Siding	Hardie® - Park Lap Siding
Shake Siding	Hardie® - Single Siding
Exterior Trim	EP - Linear Trim S14
Shutters	Vinyl / Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 51/2" per Elevation
Patio Door	62x81 GGD w/ Transom
Garage Door	Steel Insulated - 51/2" per Elevation
Windows	Vinyl - Low E Insulated - 33 U-Value



Front Elevation

**Essex**  
Craftsman

  
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Rear Elevation



Left Elevation



Right Elevation

**Essex**  
Craftsman

  
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10.11.21

## Color Collection 16 FH

Lap Siding	Hardie® - Plank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP SmartPanel S4
Shutters	Vinyl - Decorative
Doffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Vaders - Oakfield Machine Cut Veneer
Gutters	5" Aluminum K-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 51/2 per Elevation
Patio Door	60x81GD w/ Transom
Garage Door	Steel Insulated - 51/2 per Elevation
Windows	Vinyl - Low E Insulated -33 U-Value



Front Elevation

## Essex Urban Farmhouse

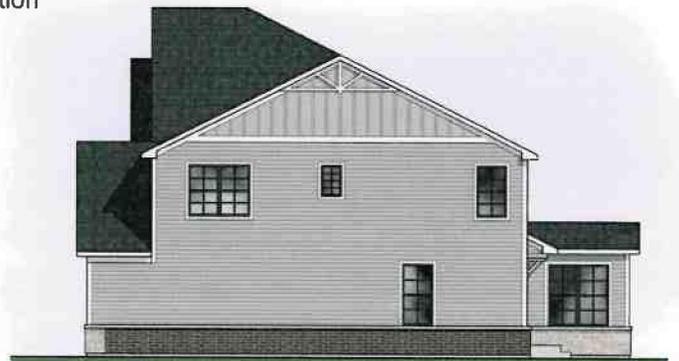
  
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Rear Elevation



Left Elevation



Right Elevation

**Essex**  
Urban Farmhouse

  
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Bedroom 5

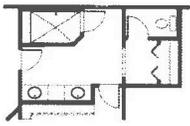
Bedroom 2 w/ Bath

Fireplace

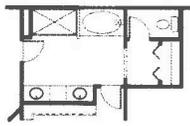


Guest Room

Study



Walk-in Shower



Luxury Bath

Plan Options



Upper Floor Plan



Main Floor Plan

# Essex

### Color Collection 14

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	UP - Smart Trim 5/4
Shutters	Vinyl - Decorative
Gable & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Ekena Vynidene - Oakfield Machine Cut Veneer
Columns	5" Aluminum - Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Panel Door	60x80GD w/ Garage
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

**Essex**  
Artisan

  
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Rear Elevation



Left Elevation



Right Elevation

Essex  
Artisan

  
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**REAR YARD PLANT LIST- GOLF COURSE LOT**

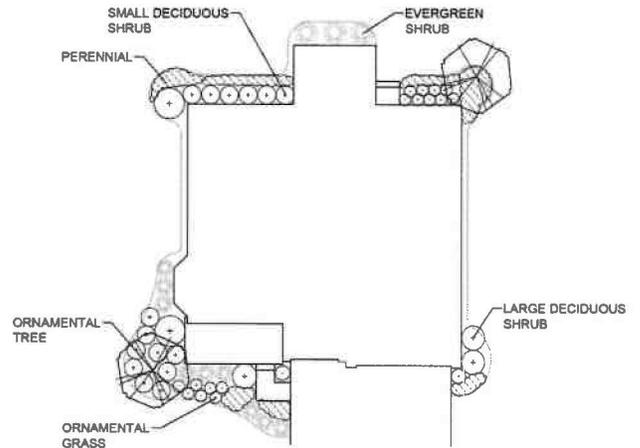
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (6" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[6]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPICE* ROSE SPECIES DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSIED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[60]	PERENNIALS: (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

**FRONT YARD PLANT LIST-STANDARD**

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (6" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPICE* ROSE SPECIES DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSIED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[24]	PERENNIALS: (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



**Essex**

**M/I HOMES**  
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# Eastman

2760 - 2870 s.f.



**M/I HOMES**

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M/I Homes of Chicago  
01.10.22

### Color Collection 13

Lap Siding	Hardie® - Plank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Panel Siding	Hardie® - Panel Siding
Exterior Trim	SP - Smart Trim Siding
Shutters	Zynk® - Decorative
Columns & Fascia	Zynk® - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Columns	S - Aluminum X-Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6008 LGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Wynit - Low E Insulated 33 U-Value



Front Elevation

Eastman  
Artisan

  
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Rear Elevation



Left Elevation



Right Elevation

Eastman  
Artisan



M/I HOMES

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10.21.21

### Color Collection 8

Lap Siding	Hardie® - Park Lap Siding
Panel Siding	Hardie® - Panel Siding
Exterior Trim	UP - Smart Trim S14
Shutters	Vinyl - Decorative
Doffin & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum Style
Down Spouts	2" x 2" Aluminum
Entry Door	Fiberglass Insulated - 57 lbs per Elevation
Patio Door	48x100 w/ Transom
Garage Door	Steel Insulated - 57 lbs per Elevation
Windows	Vinyl - Low Emissivity 33 U-Value



Front Elevation

**Eastman**  
Colonial Revival

  
**M/I HOMES**  
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Rear Elevation



Left Elevation



Right Elevation

**Eastman**  
Colonial Revival

### Color Collection 1

Lap Siding	Harle® - Park Lap Siding
Shake Siding	Harle® - Single Shake
Exterior Trim	LP Smart Trim S14
Shutters	Vinyl - Decorative
Doffin & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Volder - Oakfield Machine Cut Veneer
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x81GD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

**Eastman  
Craftsman**

  
**M/I HOMES**  
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 M/I Homes of Chicago  
 10.21.21



Rear Elevation



Left Elevation



Right Elevation

Eastman  
Craftsman

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.21.21

## Color Collection 15 FH

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Gable & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Deck	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Columns	3" Aluminum 1.07x2
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Folio Door	65x8 FGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl Low E Insulated 38 U-Value



Front Elevation

## Eastman Urban Farmhouse



Rear Elevation



Left Elevation



Right Elevation

**Eastman**  
Urban Farmhouse





Plan Options



Upper Floor Plan



Main Floor Plan

# Eastman

### Color Collection 13

Lee Siding	Hardie® - Park-Lee Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shake Siding
Panel Siding	Hardie® - Panel Siding
Exterior Trim	J.P. - Smart Trim 6/4
Shutters	Wills - Decorative
Soffit & Fascia	Wills / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Espe's Valses - Oakfield Machine Cut Veneer
Gutters	5" Aluminum 1.5" Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x81 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 Lvl Case



Front Elevation

Eastman  
Artisan

  
**M/I HOMES**  
 Welcome to Better  
 M/I Homes of Chicago  
 10.21.21



Rear Elevation



Left Elevation



Right Elevation

Eastman  
Artisan

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.21.21

**REAR YARD PLANT LIST- GOLF COURSE LOT**

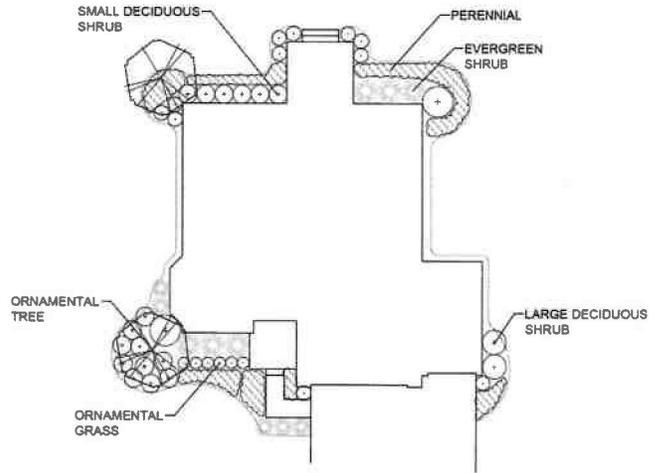
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (6" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC
[1]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[8]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[3]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
[3]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
[60]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

**FRONT YARD PLANT LIST-STANDARD**

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (6" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC
[4]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[10]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[8]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
[24]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Eastman

**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.21.21

# Elbridge

2225 - 2443 s.f.



**M/I HOMES**

Welcome to Better  
M/I Homes of Chicago  
01.10.22

### Color Collection 8

Lap Siding	Hardie® - Plank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Valders - Oakfield Machine Cut Veneer
Columns	5" Aluminum 1 Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	5048 LGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl Low E Insulated 33 U-Value



Front Elevation

**Elbridge**  
Artisan

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.28.21



Right Elevation



Left Elevation



Rear Elevation

**Elbridge**  
Artisan

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.28.21

### Color Collection 6

Asp Siding	HardieB - Park Lap Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Lintel & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spout	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 51 Kicker Elevator
Family Door	6088 100 w/ Transom
Garage Door	Steel Insulated - 51 Kicker Elevator
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

**Elbridge**  
Colonial Revival

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.28.21



Right Elevation



Left Elevation



Rear Elevation

**Elbridge**  
Colonial Revival



**M/I HOMES**

Welcome to Better  
M/I Homes of Chicago  
10.28.21

### Color Collection 1

Lap Siding	Harbor® - Park Lap Siding
Shake Siding	Harbor® - Shingle Siding
Exterior Trim	LE - Smart Trim S14
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Maduro
Gutters	5" Aluminum K-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 57 in. cer. Elevation
Patio Door	6000 SGO w/ Transom
Garage Door	Steel Insulated - 2 1/2 in. cer. Elevation
Windows	70 in. Low-E Insulated 33.0 Value



Front Elevation

**Elbridge**  
Craftsman

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.28.21



Right Elevation



Left Elevation



Rear Elevation

**Elbridge**  
Craftsman

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.28.21

## Color Collection 15 FH

Lap Siding	Hardie® - Faux Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Gable & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Shock	Standard Modular
Stone	Edens Valders - Oakfield Machine Cut Veneer
Columns	5" Aluminum 4 Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6048 IGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

## Elbridge Urban Farmhouse

  
**M/I HOMES**  
 Welcome to Better  
 M/I Homes of Chicago  
 10.28.21



Right Elevation



Left Elevation



Rear Elevation

# Elbridge

Urban Farmhouse



**M/I HOMES**

Welcome to Better  
M/I Homes of Chicago  
10.28.21

### Color Collection 8

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Single Shake Siding
Exterior Trim	LP - Smart-Tek® E14
Shutters	Vinyl Decorative
Soffit & Fascia	White Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Ederle Varden - Oakfield Machine Cut Veneer
Curtains	3" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Porch Door	60x81 GGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	High-Low E Insulated 33 U-Value



Front Elevation

**Elbridge**  
Artisan

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.28.21



Right Elevation



Left Elevation



Rear Elevation

**Elbridge**  
Artisan

  
**M/I HOMES**  
Welcome to Better  
M/I Homes of Chicago  
10.28.21

REAR YARD PLANT LIST- GOLF COURSE LOT

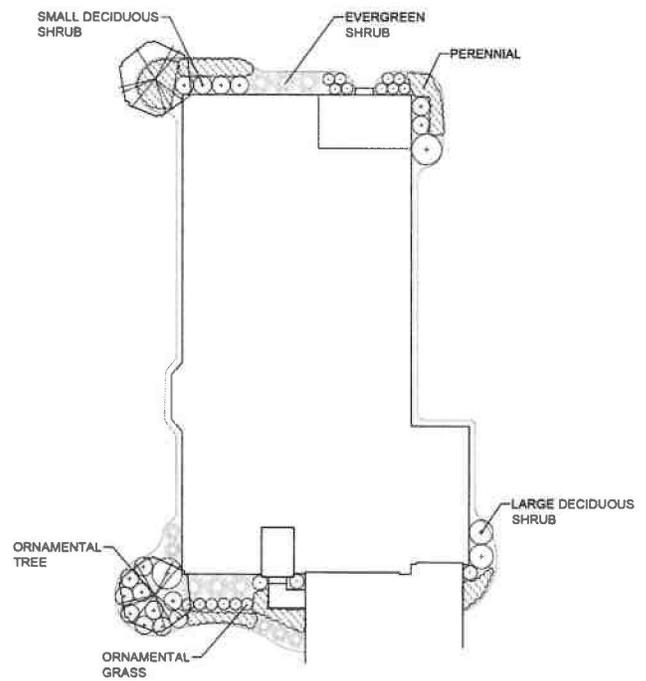
QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES: (6" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[6]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINESBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPICE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSSEED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[50]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES: (6" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY** ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINESBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPICE* DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSSEED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[28]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

\* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

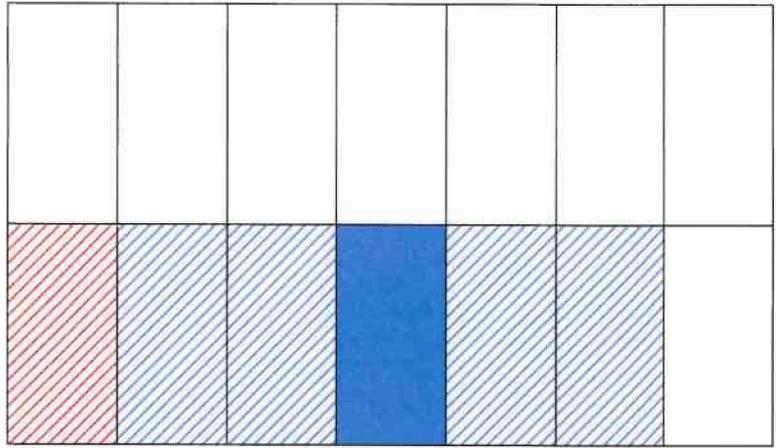


Elbridge

**Exhibit H**  
**Anti-Monotony Exhibit**



**STREET**



**STREET**



**LEGEND**

-  LOTS
-  SOLD HOME
-  SHALL NOT BE SAME MODEL AND ELEVATION AS SOLD HOME
-  SOLD HOME
-  SHALL NOT BE SAME MODEL AND ELEVATION AS SOLD HOME

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One Overlook Point, Suite 290, Lincolnshire, IL 60069 ph:847.834.5550 fx:847.834.0085 manhard.com  
Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers  
Construction Managers • Environmental Scientists • Landscape Architects • Planners

**HAWTHORN WOODS COUNTRY CLUB**

**VILLAGE OF HAWTHORN WOODS**

**ANTI-MONOTONY EXHIBIT**

PROJ. MGR.: CJP

SHEET

DRAWN BY: AMO

DATE: 02-28-24

SCALE: N.T.S.

**EXHIBIT 1**  
TOLHW

# Collection Colors

Arctic White

Cobble Stone

Khaki Brown

Monterey Taupe

Timber Bark

Rich Espresso

Mountain Sage

Pearl Gray

Gray Slate

Boothbay Blue

Evening Blue

Deep Ocean

Aged Pewter

Night Gray

Iron Gray

# Color Families

## All Colors



### Color Family 1

Cobble Stone

Pearl Gray

### Color Family 2

Iron Gray

Rich Espresso

### Color Family 3

Aged Pewter

Timber Bark

### Color Family 4

Boothbay Blue

Gray Slate

### Color Family 5

Evening Blue

Night Gray

### Color Family 6

Evening Blue

Boothbay Blue

**Rule:** Colors within the same color family may not be repeated on homes immediately adjacent to each other. This anti-monotony exhibit does not apply to homes separated by a street or roadway or to homes adjacent only at the rear lot line.



**Exhibit J**  
**Engineer's Estimates**



ENGINEER'S OPINION OF PROBABLE COST  
 HAWTHORN WOODS COUNTRY CLUB - PHASE 5  
 HAWTHORN WOODS, ILLINOIS  
 7/25/2024

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	EXTENSION
<b>SCHEDULE I - EXCAVATION AND GRADING IMPROVEMENTS</b>					
1	Mobilization	1	LUMP SUM	\$20,000.00	\$20,000.00
2	Silt Fence (Non-Wire Back)	3410	LF	\$2.75	\$9,377.50
3	Concrete Washout	1	EACH	\$4,500.00	\$4,500.00
4	Construction Entrance	1	LUMP SUM	\$5,000.00	\$5,000.00
5	Tree Removal - Acres	0.5	ACRE	\$4,000.00	\$2,000.00
6	Topsail Stripping and Stockpiling	3700	CY	\$3.50	\$12,950.00
7	Clay Excavation and Embankment	14500	CY	\$4.75	\$68,875.00
8	Temporary Seeding	7.0	ACRE	\$2,500.00	\$17,500.00
<b>TOTAL SCHEDULE I - EXCAVATION AND GRADING IMPROVEMENTS</b>					<b>\$140,203</b>
<b>SCHEDULE II - UNDERGROUND IMPROVEMENTS</b>					
<b>A. SANITARY SEWER IMPROVEMENTS</b>					
1	6" PVC Sanitary Sewer Service (Long)	8	EACH	\$3,300.00	\$26,400.00
2	6" PVC Sanitary Sewer Service (Short)	20	EACH	\$1,200.00	\$24,000.00
3	8" PVC Sanitary Sewer	1835	LF	\$45.00	\$82,575.00
4	4' Diameter Manhole	7	EACH	\$5,000.00	\$35,000.00
5	Trench Backfill	750	LF	\$70.00	\$52,500.00
<b>SUBTOTAL A - SANITARY SEWER IMPROVEMENTS</b>					<b>\$220,475</b>
<b>B. WATER MAIN IMPROVEMENTS</b>					
1	8" DI Water Main	820	LF	\$70.00	\$57,400.00
2	12" DI Water Main	690	LF	\$100.00	\$69,000.00
3	8" Valve & Box	3	EACH	\$2,000.00	\$6,000.00
4	12" Valve & Box	3	EACH	\$2,500.00	\$7,500.00
5	1.5" House Service Type K (short)	8	EACH	\$1,900.00	\$15,200.00
6	1.5" House Service Type K (long)	20	EACH	\$3,000.00	\$60,000.00
7	Fire Hydrant with Auxiliary Valve	4	EACH	\$6,000.00	\$24,000.00
8	Trench Backfill	900	LF	\$25.00	\$22,500.00
9	Dry Connection	2	EACH	\$2,000.00	\$4,000.00
10	Water Main Pipe Removal	700	LF	\$20.00	\$14,000.00
<b>SUBTOTAL B - WATER MAIN IMPROVEMENTS</b>					<b>\$279,600</b>
<b>C. STORM SEWER IMPROVEMENTS</b>					
1	12" RCP Storm Sewer Pipe	410	LF	\$30.00	\$12,300.00
2	15" RCP Storm Sewer Pipe	365	LF	\$35.00	\$12,775.00
3	18" RCP Storm Sewer Pipe	620	LF	\$40.00	\$24,800.00
4	30" RCP Storm Sewer Pipe	310	LF	\$75.00	\$23,250.00
5	2'-0" Diameter Inlet	4	EACH	\$1,600.00	\$6,400.00
6	4'-0" Diameter Catch Basin	3	EACH	\$3,300.00	\$9,900.00
7	4'-0" Diameter Manhole	13	EACH	\$2,500.00	\$32,500.00
8	Trench Backfill	150	LF	\$30.00	\$4,500.00
9	Inlet Filter	20	EACH	\$350.00	\$7,000.00
<b>SUBTOTAL C - STORM SEWER IMPROVEMENTS</b>					<b>\$133,425</b>
<b>TOTAL SCHEDULE II - UNDERGROUND IMPROVEMENTS (A-C)</b>					<b>\$633,500</b>
<b>SCHEDULE III - ON-SITE ROADWAY IMPROVEMENTS</b>					



ENGINEER'S OPINION OF PROBABLE COST  
HAWTHORN WOODS COUNTRY CLUB - PHASE 5  
HAWTHORN WOODS, ILLINOIS  
7/25/2024

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	EXTENSION
1	Subgrade Preparation - Fine Grading	6600	SY	\$1.50	\$9,900.00
2	Aggregate Base Course - 10"	6000	SY	\$15.00	\$90,000.00
3	Hot-Mix Asphalt Binder Course, N50 - 3"	6000	SY	\$15.00	\$90,000.00
4	Hot-Mix Asphalt Surface Course, N50 - 2"	6000	SY	\$12.00	\$72,000.00
5	Concrete Curb Type M-3.12	3470	LF	\$16.00	\$55,520.00
6	Traffic Sign	1	EACH	\$300.00	\$300.00
7	Street Lights	1	EACH	\$7,000.00	\$7,000.00
<b>TOTAL SCHEDULE III - ON-SITE ROADWAY IMPROVEMENTS</b>					<b>\$324,720</b>
<b>SUBTOTAL SCHEDULES I-III</b>					<b>\$1,098,423</b>
<b>CONTINGENCY @10%</b>					<b>\$109,842</b>
<b>TOTAL</b>					<b>\$1,208,265</b>

Prepared By: Manhard Consulting, Ltd.  
700 Springer Drive  
Lombard, Illinois 60148

NOTE: This Engineer's Opinion of Probable Cost is made on the basis of Engineer's experience and qualifications using plan quantities and represents Engineer's best judgment as an experienced and qualified professional engineer generally familiar with the construction industry. However, since the Engineer has no control over the cost of labor, materials, equipment or services furnished by others, or over the Contractor's methods of determining prices, or over competitive bidding or market conditions, or over quantities of work actually performed, Engineer cannot and does not guarantee that proposals, bids or actual Construction Cost will not vary from Opinions of Probable Cost prepared by Engineer. This Opinion of Probable Construction Cost is limited to those items stated herein and does not include permit fees, recapture costs, consultant fees landscaping, dewatering, maintenance, bonds or the like.



ENGINEER'S OPINION OF PROBABLE COST  
 HAWTHORN WOODS COUNTRY CLUB - PHASE 6  
 HAWTHORN WOODS, ILLINOIS  
 7/25/2024

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	EXTENSION
<b>SCHEDULE I - EXCAVATION AND GRADING IMPROVEMENTS</b>					
1	Mobilization	1	LUMP SUM	\$20,000.00	\$20,000.00
2	Silt Fence (Non-Wire Back)	4935	LF	\$2.75	\$13,571.25
3	Concrete Washout	1	EACH	\$4,500.00	\$4,500.00
4	Construction Entrance	1	LUMP SUM	\$5,000.00	\$5,000.00
5	Tree Removal - Acres	0.5	ACRE	\$4,000.00	\$2,000.00
6	Topsoil Stripping and Stockpiling	8000	CY	\$3.50	\$28,000.00
7	Clay Excavation and Embankment	35000	CY	\$4.75	\$166,250.00
8	Temporary Seeding	5.0	ACRE	\$2,500.00	\$12,500.00
<b>TOTAL SCHEDULE I - EXCAVATION AND GRADING IMPROVEMENTS</b>					<b>\$251,821</b>
<b>SCHEDULE II - UNDERGROUND IMPROVEMENTS</b>					
<b>A. SANITARY SEWER IMPROVEMENTS</b>					
1	6" PVC Sanitary Sewer Service (Long)	21	EACH	\$3,300.00	\$69,300.00
2	6" PVC Sanitary Sewer Service (Short)	37	EACH	\$1,200.00	\$44,400.00
3	8" PVC Sanitary Sewer	3000	LF	\$45.00	\$135,000.00
4	4' Diameter Manhole	14	EACH	\$5,000.00	\$70,000.00
5	Trench Backfill	1100	LF	\$70.00	\$77,000.00
6	Connection to Existing Manhole	1	EACH	\$5,000.00	\$5,000.00
<b>SUBTOTAL A - SANITARY SEWER IMPROVEMENTS</b>					<b>\$400,700</b>
<b>B. WATER MAIN IMPROVEMENTS</b>					
1	8" DI Water Main	2960	LF	\$70.00	\$207,200.00
2	8" Valve & Box	6	EACH	\$2,000.00	\$12,000.00
3	1.5" House Service Type K (short)	21	EACH	\$1,900.00	\$39,900.00
4	1.5" House Service Type K (long)	37	EACH	\$3,000.00	\$111,000.00
5	Fire Hydrant with Auxiliary Valve	8	EACH	\$6,000.00	\$48,000.00
6	Trench Backfill	1400	LF	\$25.00	\$35,000.00
7	Dry Connection	1	EACH	\$2,000.00	\$2,000.00
<b>SUBTOTAL B - WATER MAIN IMPROVEMENTS</b>					<b>\$455,100</b>
<b>C. STORM SEWER IMPROVEMENTS</b>					
1	12" RCP Storm Sewer Pipe	1075	LF	\$30.00	\$32,250.00
2	15" RCP Storm Sewer Pipe	680	LF	\$35.00	\$23,800.00
3	18" RCP Storm Sewer Pipe	285	LF	\$40.00	\$11,400.00
4	21" RCP Storm Sewer Pipe	175	LF	\$45.00	\$7,875.00
5	24" RCP Storm Sewer Pipe	351	LF	\$55.00	\$19,305.00
5	30" RCP Storm Sewer Pipe	305	LF	\$65.00	\$19,825.00
6	2'-0" Diameter Inlet	6	EACH	\$1,600.00	\$9,600.00
7	4'-0" Diameter Manhole	24	EACH	\$2,500.00	\$60,000.00
8	Trench Backfill	300	LF	\$30.00	\$9,000.00
9	Inlet Filter	30	EACH	\$350.00	\$10,500.00
<b>SUBTOTAL C - STORM SEWER IMPROVEMENTS</b>					<b>\$227,555</b>
<b>TOTAL SCHEDULE II - UNDERGROUND IMPROVEMENTS (A-C)</b>					<b>\$1,083,355</b>



ENGINEER'S OPINION OF PROBABLE COST  
HAWTHORN WOODS COUNTRY CLUB - PHASE 6  
HAWTHORN WOODS, ILLINOIS  
7/25/2024

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	EXTENSION
<b>SCHEDULE III - ON-SITE ROADWAY IMPROVEMENTS</b>					
1	Subgrade Preparation - Fine Grading	10300	SY	\$1.50	\$15,450.00
2	Aggregate Base Course - 10"	9300	SY	\$15.00	\$139,500.00
3	Hot-Mix Asphalt Binder Course, N50 - 3"	9300	SY	\$15.00	\$139,500.00
4	Hot-Mix Asphalt Surface Course, N50 - 2"	9300	SY	\$12.00	\$111,600.00
5	Concrete Curb Type M-3.12	6200	LF	\$16.00	\$99,200.00
<b>TOTAL SCHEDULE III - ON-SITE ROADWAY IMPROVEMENTS</b>					\$512,850
<b>SUBTOTAL SCHEDULES I-III</b>					\$1,848,026.25
<b>CONTINGENCY @10%</b>					\$184,803
<b>TOTAL</b>					<b>\$2,032,829</b>

Prepared By: Manhard Consulting, Ltd.  
700 Springer Drive  
Lombard, Illinois 60148

NOTE: This Engineer's Opinion of Probable Cost is made on the basis of Engineer's experience and qualifications using plan quantities and represents Engineer's best judgment as an experienced and qualified professional engineer generally familiar with the construction industry. However, since the Engineer has no control over the cost of labor, materials, equipment or services furnished by others, or over the Contractor's methods of determining prices, or over competitive bidding or market conditions, or over quantities of work actually performed, Engineer cannot and does not guarantee that proposals, bids or actual Construction Cost will not vary from Opinions of Probable Cost prepared by Engineer. This Opinion of Probable Construction Cost is limited to those items stated herein and does not include permit fees, recapture costs, consultant fees landscaping, dewatering, maintenance, bonds or the like.

**Exhibit K**  
**Surety**

VILLAGE OF HAWTHORN WOODS

PERFORMANCE BOND  
Bond # DUA002054

**KNOW ALL MEN BY THESE PRESENTS:** that M/I Homes of Chicago, LLC of 2135 City Gate Lane, Suite 620, Naperville, IL 60563 ("*Principal*" or "*Subdivider*"), and AXIS Insurance Company of (ADDRESS), a corporation organized and existing under the laws of the State of Illinois ("*Surety*"), is held and firmly bound unto the *Village of Hawthorn Woods*, as Obligee (hereinafter called the "*Village*"), in the full and just sum of Two Million One Hundred Sixty Nine Thousand One Hundred Forty Two and 00/100 Dollars (\$2,169,142.00), for the payment of which sum of money well and truly to be made, Principal and Surety bind themselves, their heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents, said amount to include: (1) payment of actual costs, direct damages, and for attorneys' fees, architectural fees, design fees, engineering fees, accounting fees, testing fees, consulting fees, administrative costs, court costs, interest, and any other fees and expenses [as well as judgment interest at the higher of the then-current statutory amount or six percent (6%) per annum ("*Interest*")] resulting from or incurred by the Village by reason of Principal's failure to timely and faithfully perform its obligations to construct the improvements required in connection with the Hawthorn Woods Country Club Phase 6 Subdivision which are defined on Exhibit A attached and made a part hereof (the "*Improvements*"); and (2) direct damages, attorneys' fees, court costs, and administrative and other expenses necessarily paid or incurred by the Village in successfully enforcing performance of the obligation of the Principal and Surety under this performance bond ("*Bond*"), as well as Interest. The obligations of the Principal and Surety under this Bond are limited to the Improvements identified on, and the total amounts budgeted for the completion of the improvements identified on, Exhibit A.

**WHEREAS**, Subdivider has executed its acceptance of an improvement agreement (the "*Improvement Agreement*") for the development of certain real property consisting of approximately 24.6 acres located in the Village of Hawthorn Woods, Illinois ("*Property*"), which Improvement Agreement is dated \_\_\_\_\_ by and pursuant to which Subdivider has the obligation to construct and install the Improvements as required by the Improvement Agreement for a subdivision known as Hawthorn Woods Country Club, the terms and conditions of which the Improvement Agreement are by this reference incorporated herein as though fully set forth herein; and

Whereas, the Subdivider has caused this Bond to be delivered to the Village in the amount of \$2,169,142.00 to secure the Subdivider's performance under the Improvement Agreement with respect to the Improvements in Phase Six.

**NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH THAT** if the Subdivider shall well, truly, and timely perform all the undertakings, covenants, terms, conditions and agreements of the Subdivider for the completion of the Improvements required under Exhibit A and this Bond, including, but not limited to: (1) to provide, perform and complete at the Property and in the manner specified in conformity with the requirements of the Exhibit A all necessary work, labor, services, transportation, equipment, materials, apparatus, machinery, tools, fuels, gas, electric, water, waste disposal, information, data, and other means and items necessary for the construction, installation, and completion of the Improvements; (2)

to procure and furnish all permits, licenses, and other governmental approvals and authorizations necessary in connection therewith; (3) to pay all applicable federal, state, and local taxes in connection therewith; (4) to do all other things required of Principal for the construction of the Improvements; (5) to provide, perform, and complete all of the foregoing with respect to the Improvements in a proper and workmanlike manner and in full compliance with, and as required by and pursuant to Exhibit A; all of which is herein referred to as the "Work, "; (6) to obtain all necessary written approvals from the Village and any and all staff members relating to the Work; (7) to post a maintenance bond for *the* Work with the Village, in an amount and in a form acceptable to the Village in its reasonable discretion; then this obligation shall be null and void; otherwise it shall remain in full force and effect; and (8) demolition of any incomplete structures and site restoration.

Surety, for value received, hereby stipulates and agrees that no changes, modifications, alterations, omissions, deletions, additions, extensions of time, or forbearances on the part of either Village or Subdivider to the other in or to the terms of said Exhibit A; in or to the schedules, plans, drawings, or specifications; in or to the method or manner of performance of the Work; in or to the mode or manner of payment therefor; or in or to Village-furnished facilities, equipment, material, service, or sites; shall in any way release Principal and Surety or either or any of them, or any of their heirs, executors, administrators, successors, or assigns or affect the obligations of Subdivider or Surety on this Bond, all notice of any and all of the foregoing changes, modifications, alterations, omissions, deletions, additions, extensions of time, or forbearances, and notice of any and all defaults by Subdivider or Contractor being hereby waived by Surety.

Notwithstanding anything to the contrary in the foregoing paragraph, in no event shall the obligations of Subdivider and Surety under this Bond be greater than the obligations of and amounts set forth in this Bond in the event of Subdivider's default under the Exhibit A.

In the event of a default or defaults by the Principal under the Exhibit A, Village shall have the right to take over, perform and complete the Improvements upon 30 calendar days' written notice to Surety and Subdivider, in which event Surety shall pay Village all costs incurred by Village in taking over and completing the Improvements under Exhibit A.

At its option, Surety may elect to take over and complete the Improvements, through its agents or independent contractors, in which event Surety shall take reasonable steps to proceed promptly with completion no later than 30 calendar days from the date on which Village notifies Surety that Village wants Village or Surety to take over and complete the Improvements.

In either event, Subdivider grants Surety, and the Village the right to access the Property to complete the Improvements consistent with the terms of this Bond.

Village shall have no obligation to actually incur any expense or correct any deficient performance of Subdivider. After investigation by the Surety, the Surety shall determine the amount which it may owe the Village for the completion of the Improvements in order to be entitled to receive the proceeds of this Bond.

No right of action shall accrue on this Bond to or for the use of any person or corporation other than Village or successors of Village.

The Bond shall expires on September 25, 2025 unless extended by the parties or pursuant to this Bond or the Improvements Agreement, however in no event shall this Bond expire prior to completion of the Improvements and the Village's acceptance thereof.

This Bond is irrevocable and subject to and incorporates by reference all terms, obligation and agreements applicable to Subdivider and Village respectively under Ordinance No. 2357-24 enacted by the Village on June 24, 2024 (the "Ordinance"), which is incorporated herein by reference and which shall govern and control Subdivider and the Village and shall constitute a Guaranty Security under the Ordinance. In the event of a conflict between the terms of this Bond and the Ordinance, the terms of the Ordinance shall prevail.

Signed and sealed this 25th day of September, 2024.

Attest/Witness

By: Koua Robinson  
Title: Director of Risk Mgmt

PRINCIPAL /SUBDIVIDER

M/I HOMES OF CHICAGO, LLC.

By: [Signature]  
Title: Deputy General Counsel

Address for notices:  
2135 City Gate Lane, #620  
Naperville, IL 60563

Witness:

By: Katrina Hartung  
Title: Account Manager

SURETY:

AXIS INSURANCE COMPANY

By: [Signature]  
Title: Attorney-In-Fact

Address for Notices:  
10000 Avalon Blvd., Suite 200  
Alpharetta, GA 30009

POWER OF ATTORNEY

DUA002054

Know All Men by These Presents: That AXIS Insurance Company, an Illinois property and casualty company, (the "Company") does hereby appoint

Denise Nelson, Michael Ward, and Shelley M. Kuhn.

as its true and lawful Attorney(s)-In-Fact, to make, execute, seal and deliver for and on its behalf as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf. The Company may revoke this appointment at any time.

EXCEPTION: NO AUTHORITY is granted to make, execute, seal and deliver bonds or undertakings that guarantee the payment or collection of any promissory note, check, draft or letter of credit.

This Power of Attorney is signed, sealed and certified under and by the authority of resolutions adopted by unanimous written consent of the Board of Directors of the Company on September 27, 2023:

RESOLVED, that in connection with the Agreements, any one of the Chief Executive Officer, President, any Executive Vice President, any Senior Vice President of the Company, or any Vice President - Surety (each an "Authorized Officer"), acting singly, shall have the power and authority to appoint and revoke Attorneys-In-Fact, and to allow such Attorneys-In-Fact to further delegate their power and authority pursuant to appropriate written agreements, to make, execute, seal and deliver for and on behalf of the Company as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf; and

RESOLVED FURTHER, that each of the each of the Authorized Officers and any Secretary or Assistant Secretary of the Company, hereby is, acting singly, authorized, empowered and directed to perform such acts and things as may be necessary or appropriate to carry out the foregoing resolution and the transactions contemplated thereby.

In Witness Whereof, AXIS Insurance Company has caused this instrument to be signed and its corporate seal to be affixed by a duly elected and qualified officer, this 10th day of October, 2023.

Attested and Certified  
AXIS Insurance Company

By: [Signature]  
Printed Name: Andrew M. Weissert  
Title: Senior Vice President



STATE OF GEORGIA  
COUNTY OF FULTON

Before me personally came Andrew M. Weissert, Senior Vice President of AXIS Insurance Company, to me known to be the individual and officer described herein, who acknowledged that they, being duly authorized, signed, sealed with the corporate seal and delivered the foregoing instrument by the authority and direction of said Company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal.

[Signature]  
Notary Public



CERTIFICATION

I, Frances R. Mathis, Assistant Secretary of AXIS Insurance Company, do hereby certify that the attached Power of Attorney the 10th day of October, 2023, on behalf of the person(s) as listed above is a true and correct copy and the same has been in full force and effect since the date thereof and is in full force and effect on the date of this certificate, and I do further certify that the said Andrew M. Weissert, who executed the Power of Attorney, was a duly elected Senior Vice President of AXIS Insurance Company on the date of the execution of the attached Power of Attorney.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the corporate seal of AXIS Insurance Company on this the 25th day of September, 2024

By: [Signature]  
Printed Name: Frances R. Mathis  
Title: Assistant Secretary





ENGINEER'S OPINION OF PROBABLE COST  
 HAWTHORN WOODS COUNTRY CLUB - PHASE 6  
 HAWTHORN WOODS, ILLINOIS  
 REVISED 9/9/2024

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	EXTENSION
<b>SCHEDULE I - EXCAVATION AND GRADING IMPROVEMENTS</b>					
1	Mobilization	1	LUMP SUM	\$20,000.00	\$20,000.00
2	Silt Fence (Non-Wire Back)	4935	LF	\$2.75	\$13,571.25
3	Concrete Washout	1	EACH	\$4,500.00	\$4,500.00
4	Construction Entrance	1	LUMP SUM	\$5,000.00	\$5,000.00
5	Tree Removal - Acres	0.5	ACRE	\$10,000.00	\$5,000.00
6	Topsoil Stripping and Stockpiling	8000	CY	\$3.50	\$28,000.00
7	Clay Excavation and Embankment	35000	CY	\$4.75	\$166,250.00
8	Temporary Seeding	5.0	ACRE	\$2,500.00	\$12,500.00
<b>TOTAL SCHEDULE I - EXCAVATION AND GRADING IMPROVEMENTS</b>					<b>\$254,821</b>
<b>SCHEDULE II - UNDERGROUND IMPROVEMENTS</b>					
<b>A. SANITARY SEWER IMPROVEMENTS</b>					
1	6" PVC Sanitary Sewer Service (Long)	21	EACH	\$3,300.00	\$69,300.00
2	6" PVC Sanitary Sewer Service (Short)	37	EACH	\$1,200.00	\$44,400.00
3	8" PVC Sanitary Sewer	3000	LF	\$45.00	\$135,000.00
4	4' Diameter Manhole	14	EACH	\$5,000.00	\$70,000.00
5	Trench Backfill	1100	LF	\$70.00	\$77,000.00
6	Connection to Existing Manhole	1	EACH	\$5,000.00	\$5,000.00
<b>SUBTOTAL A - SANITARY SEWER IMPROVEMENTS</b>					<b>\$400,700</b>
<b>B. WATER MAIN IMPROVEMENTS</b>					
1	8" DI Water Main	2960	LF	\$84.00	\$248,640.00
2	8" Valve & Box	6	EACH	\$2,000.00	\$12,000.00
3	1.5" House Service Type K (short)	21	EACH	\$1,900.00	\$39,900.00
4	1.5" House Service Type K (long)	37	EACH	\$3,000.00	\$111,000.00
5	Fire Hydrant with Auxiliary Valve	8	EACH	\$8,280.00	\$66,240.00
6	Trench Backfill	1400	LF	\$25.00	\$35,000.00
7	Dry Connection	1	EACH	\$2,000.00	\$2,000.00
<b>SUBTOTAL B - WATER MAIN IMPROVEMENTS</b>					<b>\$514,780</b>
<b>C. STORM SEWER IMPROVEMENTS</b>					
1	12" RCP Storm Sewer Pipe	1075	LF	\$35.00	\$37,625.00
2	15" RCP Storm Sewer Pipe	680	LF	\$40.00	\$27,200.00
3	18" RCP Storm Sewer Pipe	285	LF	\$46.00	\$13,110.00
4	21" RCP Storm Sewer Pipe	175	LF	\$60.00	\$10,500.00
5	24" RCP Storm Sewer Pipe	351	LF	\$66.00	\$23,166.00
5	30" RCP Storm Sewer Pipe	305	LF	\$86.00	\$26,230.00
6	2'-0" Diameter Inlet	6	EACH	\$1,385.00	\$8,310.00
7	4'-0" Diameter Manhole	24	EACH	\$2,575.00	\$61,800.00
8	Trench Backfill	300	LF	\$30.00	\$9,000.00
9	Inlet Filter	30	EACH	\$350.00	\$10,500.00
<b>SUBTOTAL C - STORM SEWER IMPROVEMENTS</b>					<b>\$251,441</b>
<b>TOTAL SCHEDULE II - UNDERGROUND IMPROVEMENTS (A-C)</b>					<b>\$1,166,921</b>



ENGINEER'S OPINION OF PROBABLE COST  
HAWTHORN WOODS COUNTRY CLUB - PHASE 6  
HAWTHORN WOODS, ILLINOIS  
REVISED 9/9/2024

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	EXTENSION
<b>SCHEDULE III - ON-SITE ROADWAY IMPROVEMENTS</b>					
1	Subgrade Preparation - Fine Grading	10300	SY	\$1.50	\$15,450.00
2	Aggregate Base Course - 10"	9300	SY	\$18.35	\$170,655.00
3	Hot-Mix Asphalt Binder Course, N50 - 3"	9300	SY	\$15.00	\$139,500.00
4	Hot-Mix Asphalt Surface Course, N50 - 2"	9300	SY	\$12.00	\$111,600.00
5	Concrete Curb Type M-3.12	6200	LF	\$17.00	\$105,400.00
<b>TOTAL SCHEDULE III - ON-SITE ROADWAY IMPROVEMENTS</b>					\$550,205
<b>SUBTOTAL SCHEDULES I-III</b>					\$1,971,947.25
<b>CONTINGENCY @10%</b>					\$197,195
<b>TOTAL</b>					<b>\$2,169,142</b>

Prepared By: Manhard Consulting, Ltd.  
700 Springer Drive  
Lombard, Illinois 60148

NOTE: This Engineer's Opinion of Probable Cost is made on the basis of Engineer's experience and qualifications using plan quantities and represents Engineer's best judgment as an experienced and qualified professional engineer generally familiar with the construction industry. However, since the Engineer has no control over the cost of labor, materials, equipment or services furnished by others, or over the Contractor's methods of determining prices, or over competitive bidding or market conditions, or over quantities of work actually performed, Engineer cannot and does not guarantee that proposals, bids or actual Construction Cost will not vary from Opinions of Probable Cost prepared by Engineer. This Opinion of Probable Construction Cost is limited to those items stated herein and does not include permit fees, recapture costs, consultant fees landscaping, dewatering, maintenance, bonds or the like.

**Exhibit L**  
**Additional Unit Impact Fee Schedule**

**General Contribution Fee**

\$5,800/residential unit and \$2.00/square foot of the proposed building per story for all non-residential units

**Community and Aesthetic Improvement Fee**

\$1,500/residential unit. and \$1.00/square foot of the proposed building per story for all non-residential units

**Park Donation**

*Single Family Detached Dwelling Unit*  
4 bedrooms - \$14,115

**Taxing District Contribution**

Per District Agreements