

ORDINANCE NO. 2170-22

AN ORDINANCE GRANTING AN AMENDMENT TO THE SPECIAL USE PERMIT FOR THE HAWTHORN WOODS COUNTRY CLUB FOR: I) THE APPROVAL OF PROPOSED ARCHITECTURE AND LANDSCAPING, II) REVISION OF THE ANTI-MONOTONY STANDARDS, III) REVISION OF CERTAIN DEVELOPMENT STANDARDS SET FORTH IN EXHIBIT D OF THE ANNEXATION AGREEMENT, BUT NOT LIMITED TO THE FOLLOWING: A) INCREASING THE MINIMUM FLOOR AREA REQUIREMENTS, AND B) CLARIFYING THE APPLICATION OF ARCHITECTURAL OVERLAY DISTRICT PROVISIONS— MI HOMES

WHEREAS, on or about March 9, 2022, MI Homes, as applicant (“Applicant”), filed an application for an amendment to the special use permit for: i) the approval of proposed architecture and landscaping, ii) revision of the anti-monotony standards, iii) revision of certain development standards set forth in Exhibit D of the Annexation Agreement between the Village of Hawthorn Woods and Toll IL HWCC, L.P., dated May 27, 2003, but not limited to the following: a) increasing the minimum floor area requirements, and b) clarifying the application of Architectural Overlay District Provisions on the property legally described on Exhibit "A" attached hereto and incorporated herein (the "SUBJECT REALTY"); and,

WHEREAS, the Applicant’s plans for the construction of said single family dwellings and revised anti-monotony standards and the revisions to the development standards within the 5th Amended Annexation Agreement and said amended annexation agreement is attached hereto as Exhibit “B” and incorporated herein; and,

WHEREAS, Notice of Public Hearing with respect to the special use permit was published on or about March 5, 2022, in the Daily Herald, being a newspaper having general circulation within the Village of Hawthorn Woods, all as required by the statutes of the State of Illinois and the ordinances of the Village, and,

WHEREAS, all other notices required by the statutes of the State of Illinois and the ordinances of the Village have been given; and,

WHEREAS, pursuant to said Notice, the Planning, Building, and Zoning Commission of the Village of Hawthorn Woods conducted a Public Hearing regarding the special use permit on or about March 22, 2022, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, the Planning, Building, and Zoning Commission forwarded its recommendations, to the Mayor and Board of Trustees on or about March 22, 2022, and,

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Hawthorn Woods, Lake County, Illinois, as follows:

SECTION ONE: That there is hereby granted an amendment to the special use permit for: i) the approval of proposed architecture and landscaping, ii) revision of the anti-monotony standards, iii) revision of certain development standards set forth in Exhibit D of the Annexation Agreement, but not limited to the following: a) increasing the minimum floor area requirements, and b) clarifying the application of Architectural Overlay District Provisions on the SUBJECT REALTY as set forth on Exhibit "A". The provisions of Exhibit B are incorporated herein and shall survive expiration of the term of Exhibit B.

SECTION TWO: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of the Ordinance are, to the extent of such conflict, expressly superseded.

SECTION THREE: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

The foregoing Ordinance was passed by a roll call vote as follows:

AYES: Kaiser, Reiss, Bayr, David, McCartney, Rychnio

NAYS: 0

ABSENT AND NOT VOTING: 0

APPROVED: _____
Dominick DiMaggio, Mayor

ATTEST: _____
Donna Lobaito, Village Clerk

PASSED: April 25, 2022

APPROVED: April 25, 2022

EXHIBIT "A"

LEGAL DESCRIPTION

PARCEL 1:

LOTS 27, 52, 96, 100, 101, 104, 105, 106, 107, 108, 109 AND 110 IN HAWTHORN WOODS COUNTRY CLUB PHASE 1, BEING A SUBDIVISION OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 30, 2004 AS DOCUMENT 5613059 AND CERTIFICATE OF CORRECTION RECORDED OCTOBER 13, 2004 AS DOCUMENT 5662935 AND CERTIFICATE OF CORRECTION RECORDED DECEMBER 17, 2004 AS DOCUMENT 5702346, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:

LOTS 324, 326, 327, 359, 378, 379, 387 AND 391 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 23, 2005 AS DOCUMENT 5804408 IN LAKE COUNTY, ILLINOIS.

PARCEL 3:

LOTS 275, 276, 277, 279, 281, 287, 290, 294, 472, 475 AND 476 IN HAWTHORN WOODS COUNTRY CLUB PHASE 3, BEING A SUBDIVISION OF OUTLOT AA, OUTLOT BB, OUTLOT CC, OUTLOT HH AND OUTLOT KK IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 26, 2005 AS DOCUMENT 5883372 AND CERTIFICATE OF CORRECTION RECORDED NOVEMBER 2, 2005 AS DOCUMENT 5888575, IN LAKE COUNTY, ILLINOIS.

PARCEL 4:

LOTS 208, 209, 210, 211, 213, 214, 215, 216, 218, 219, 221, 222, 229, 231, 234, 235, 237, 239, 240, 241, 242, 243, 244, 245, 246, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 361, 369, 371, 372, 375 AND 376 IN HAWTHORN WOODS COUNTRY CLUB PHASE 4, BEING A RESUBDIVISION OF OUTLOT DD, OUTLOT EE AND OUTLOT II IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP

44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 5, 2006 AS DOCUMENT 5925443, IN LAKE COUNTY, ILLINOIS.

PARCEL 5:

LOTS 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 64, 65, 66, 67, 68, 71, 72 AND 73 IN HAWTHORN WOODS COUNTRY CLUB PHASE 5, BEING A RESUBDIVISION OF OUTLOT GG AND OUTLOT JJ IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 26, 2008 AS DOCUMENT 6323454, IN LAKE COUNTY, ILLINOIS.

EXHIBIT "B"



Image# 063124770210 Type: RES
Recorded: 05/16/2023 at 10:25:37 AM
Receipt#: 2023-00020179
Page 1 of 210
Fees: \$50.00
Lake County IL
Anthony Vega Lake County Clerk

File **7973347**

2 LAGOON DRIVE • HAWTHORN WOODS, ILLINOIS 60047 • TEL. 847-438-5500 • FAX 847-438-1459
WWW.VHW.ORG

STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, Donna Lobaito, certify that I am duly appointed and Village Clerk of the Village of Hawthorn Woods, Lake County, Illinois, **DO HEREBY CERTIFY THAT AS SUCH Village Clerk I am the keeper of the records, ordinances, resolutions, minutes, entries, orders, books, papers and seal of the said Village.**

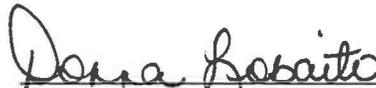
I DO FURTHER CERTIFY that pursuant to 735 ILCS 5/1-109, the following is a true and correct copy of:

RESOLUTION NO. 04-25-22-2

A RESOLUTION AUTHORIZING THE MAYOR AND CHIEF OPERATING OFFICER OF THE VILLAGE OF HAWTHORN WOODS TO ENTER INTO A CERTAIN FIFTH AMENDMENT TO THE ANNEXATION AND DEVELOPMENT AGREEMENT—MI HOMES—HAWTHORN WOODS COUNTRY CLUB—APPROXIMATELY 105 LOTS LOCATED WITHIN THE HAWTHORN WOODS COUNTRY CLUB LOCATED WEST OF GILMER ROAD, EAST OF FAIRFIELD ROAD AND NORTH AND SOUTH OF SCHWERMAN ROAD

and that the original of said copies for the Village of Hawthorn Woods remains on file in my office and is in full force and effect.

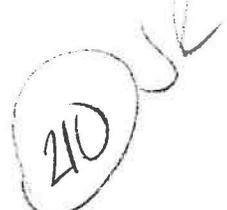
WITNESS my hand and the corporate seal of said Village, this 11th day of May 2023.



Donna Lobaito, Village Clerk



Submitted by and Mail to:
Donna Lobaito, Village Clerk
Village of Hawthorn Woods
2 Lagoon Drive
Hawthorn Woods, IL 60047



RESOLUTION NO. 04-25-22-2

A RESOLUTION AUTHORIZING THE MAYOR AND CHIEF OPERATING OFFICER OF THE VILLAGE OF HAWTHORN WOODS TO ENTER INTO A CERTAIN FIFTH AMENDMENT TO THE ANNEXATION AND DEVELOPMENT AGREEMENT – MI HOMES – HAWTHORN WOODS COUNTRY CLUB – APPROXIMATELY 105 LOTS LOCATED WITHIN THE HAWTHORN WOODS COUNTRY CLUB LOCATED WEST OF GILMER ROAD, EAST OF FAIRFIELD ROAD AND NORTH AND SOUTH OF SCHWERMAN ROAD

WHEREAS, Toll IL HWCC, L.P. and certain other parties previously entered into that certain Annexation and Development Agreement with the Village recorded in the Office of Lake County Recorder on May 30, 2003, as Document No. 5251985, regarding the real estate legally described in Exhibit "A", attached hereto and made a part hereof ("Subject Realty"); and

WHEREAS, said Agreement has previously been amended pursuant to a First Amendment to Annexation and Development Agreement recorded in the Office of the Lake County Recorder on November 3, 2004, as Document No. 5675024, a Second Amendment to Annexation and Development Agreement recorded in the Office of the Lake County Recorder on August 3, 2007, as Document No. 6222247, and a Third Amendment to Annexation and Development Agreement recorded in the Office of the Lake County Recorder on September 27, 2007, as Document No. 6247655; a Fourth Amendment to the Annexation and Development Agreement approved by Resolution Number 09-29-10-2 by the Village Board of the Village of Hawthorn Woods on September 29, 2010; and

WHEREAS, MI Homes and Toll IL HWCC, L.P. desire to further amend said Agreement; and

WHEREAS, a Public Hearing was held on a Fifth Amendment to Annexation and Development Agreement on or about April 25, 2022, as required by law, all appropriate notices having been given; and,

WHEREAS, all other public hearings required by law to be held have been held; and,

WHEREAS, the Mayor and Board of Trustees have considered the terms and provisions of the proposed Fifth Amendment to Annexation and Development Agreement.

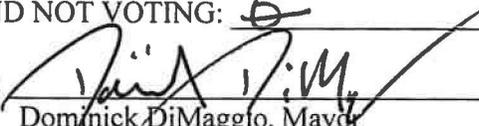
NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Hawthorn Woods, Lake County, Illinois, that the Mayor and Chief Operating Officer be and the same are hereby authorized to execute that certain Fifth Amendment to Annexation and Development Agreement, in substantially the form heretofore incorporated herein as Exhibit "B", by and on behalf of the Village of Hawthorn Woods.

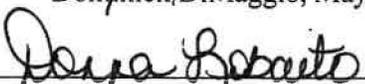
The foregoing Resolution was passed by a roll call vote as follows:

AYES: Kaiser, Riess, Bauer, David, McCarthy, Rechele, DiMaggio

NAYS: 0

ABSENT AND NOT VOTING: 0

APPROVED: 
Dominick DiMaggio, Mayor

ATTEST: 
Donna Lobaito, Village Clerk

PASSED: April 25, 2022

APPROVED: April 25, 2022

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER, THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF THE SOUTHEAST QUARTER OF SECTION 28, AND PART OF SECTION 33 AND PART OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 33, THENCE NORTH 00 DEGREES 05 MINUTES 54 SECONDS EAST, 827.17 FEET (828.3 FEET, DEED) ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 33 TO THE SOUTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 1827397; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 226.39 FEET (225.49 FEET, DEED) ALONG THE SOUTH LINE OF SAID PARCEL TO A POINT ON THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER COUNTY PLATS RECORDED AS DOCUMENT NUMBER 981291 AND DOCUMENT NUMBER 981292; THENCE SOUTHEASTERLY 247.81 FEET (248 FEET DEED) ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 25 DEGREES 06 MINUTES 10 SECONDS EAST, 247.66 FEET; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 527.20 FEET (526.74 FEET, DEED), PARALLEL WITH THE SOUTH LINE OF SAID PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 1827397; THENCE NORTH 02 DEGREES 17 MINUTES 08 SECONDS WEST, 228.28 FEET TO THE SOUTH LINE OF SAID PARCEL OF LAND; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 1805.21 FEET ALONG SAID SOUTH LINE TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 25 MINUTES 17 SECONDS WEST, 990.00 FEET ALONG SAID EAST LINE TO THE NORTHEAST CORNER OF SAID PARCEL OF LAND RECORDED AS DOCUMENT NUMBER 1827397; THENCE SOUTH 87 DEGREES 42 MINUTES 52 SECONDS WEST, 865.09 FEET ALONG THE NORTH LINE OF SAID PARCEL OF LAND TO THE SOUTHEAST CORNER OF BITTERSWEET MEADOWS OPEN SPACE SINGLE-FAMILY RESIDENTIAL HOUSE SUBDIVISION RECORDED AS DOCUMENT NUMBER 4498969; THENCE NORTH 00 DEGREES 06 MINUTES 02 SECONDS EAST, 982.79 FEET (981.76 FEET, RECORD) ALONG THE EAST LINE OF SAID BITTERSWEET MEADOW TO A POINT ON THE CENTERLINE OF SCHWERMAN ROAD; THENCE NORTH 75 DEGREES 40 MINUTES 26 SECONDS WEST, 275.37 FEET (275.47 FEET, RECORD) ALONG SAID CENTERLINE TO AN ANGLE POINT; THENCE NORTH 67 DEGREES 00 MINUTES 35 SECONDS WEST, 592.79 FEET ALONG SAID CENTERLINE TO THE SOUTHEAST CORNER OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 2186020; THENCE NORTH 00 DEGREES 09 MINUTES 59 SECONDS WEST, 1606.00 FEET ALONG THE EASTERLY LINE OF SAID PARCEL OF LAND AND AN EASTERLY LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 4930390, TO

A POINT ON A LINE 7.47 CHAINS (493.02 FEET) SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 55 MINUTES 57 SECONDS EAST, 1659.44 FEET ALONG SAID PARALLEL LINE TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 24 MINUTES 20 SECONDS WEST, 388.02 FEET ALONG SAID WEST LINE TO A POINT ON THE SOUTH LINE OF THE NORTH 105.00 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 50 MINUTES 04 SECONDS EAST, 300.00 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF THE WEST 300.00 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 24 MINUTES 20 SECONDS WEST, 105.00 FEET ALONG SAID EAST LINE TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 10 MINUTES 30 SECONDS WEST, 650.69 FEET (649.77 FEET, DEED) ALONG A LINE 300.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28 TO A POINT ON THE CENTERLINE OF OWENS ROAD; THENCE NORTH 79 DEGREES 04 MINUTES 32 SECONDS EAST, 460.41 FEET ALONG SAID CENTERLINE; THENCE NORTH 43 DEGREES 33 MINUTES 37 SECONDS EAST, 275.52 FEET ALONG SAID CENTERLINE TO A POINT OF INTERSECTION WITH A LINE 371.22 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE NORTH 44 DEGREES 10 MINUTES 15 SECONDS EAST, 530.98 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28; THENCE SOUTH 00 DEGREES 11 MINUTES 09 SECONDS EAST, 676.00 FEET ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 28 TO THE SOUTH LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 4134934; THENCE NORTH 89 DEGREES 50 MINUTES 04 SECONDS EAST, 868.82 FEET ALONG SAID SOUTH LINE; THENCE NORTH 62 DEGREES 11 MINUTES 21 SECONDS EAST, 339.24 FEET (339.27 FEET DEED) ALONG A SOUTHEASTERLY LINE OF SAID PARCEL TO A POINT ON THE CENTERLINE OF GILMER ROAD (COUNTY HIGHWAY 26) PER HIGHWAY PLAT RECORDED AS DOCUMENT NUMBER 446774 AND DOCUMENT NUMBER 446775; THENCE SOUTHEASTERLY 306.31 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 65,317.20 FEET AND A CHORD BEARING SOUTH 28 DEGREES 22 MINUTES 49 SECONDS EAST, 306.31 FEET TO A POINT ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE SOUTH 00 DEGREES 11 MINUTES 48 SECONDS EAST, 527.02 FEET (532.63 FEET, DEED) ALONG THE SAID EAST LINE TO THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE NORTH 89 DEGREES 59 MINUTES 44 SECONDS EAST, 278.22 FEET (278.00 FEET, DEED) ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 34 TO A POINT ON SAID CENTERLINE OF GILMER ROAD (COUNTY HIGHWAY 26); THENCE SOUTH 27 DEGREES 43 MINUTES 45 SECONDS EAST, 1743.73 FEET ALONG SAID CENTERLINE TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY 418.39 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A

CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 114,592.00 FEET AND A CHORD BEARING SOUTH 27 DEGREES 50 MINUTES 02 SECONDS EAST, 418.88 FEET TO A POINT ON THE NORTH LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 665568; THENCE NORTH 89 DEGREES 45 MINUTES 23 SECONDS WEST, 377.05 FEET (406.95 FEET, DEED) ALONG SAID NORTH LINE TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE SOUTH 00 DEGREES 10 MINUTES 34 SECONDS WEST, 731.12 FEET (731.15 FEET, DEED) ALONG THE WEST LINE OF SAID PARCEL TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 34; THENCE NORTH 89 DEGREES 49 MINUTES 26 SECONDS WEST, 875.36 FEET (875.53 FEET, DEED) ALONG SAID SOUTH LINE TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 34; THENCE SOUTH 89 DEGREES 53 MINUTES 36 SECONDS WEST, 1395.65 FEET (1395.94 FEET, RECORD) ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 TO THE NORTHWEST CORNER OF LAKE LORRAINE ESTATES UNIT ONE RECORDED AS DOCUMENT NUMBER 2634403; THENCE SOUTHERLY AND EASTERLY ALONG THE BOUNDARY OF SAID LAKE LORRAINE ESTATES UNIT ONE THE FOLLOWING 19 COURSES:

THENCE SOUTH 00 DEGREES 06 MINUTES 24 SECONDS EAST, 40.00 FEET; THENCE SOUTH 21 DEGREES 44 MINUTES 50 SECONDS EAST, 74.87 FEET (75.00 FEET, RECORD); THENCE SOUTH 43 DEGREES 26 MINUTES 18 SECONDS EAST, 120.00 FEET; THENCE SOUTH 22 DEGREES 22 MINUTES 18 SECONDS EAST, 80.00 FEET; THENCE SOUTH 04 DEGREES 45 MINUTES 22 SECONDS EAST, 80.10 FEET; THENCE SOUTH 21 DEGREES 28 MINUTES 02 SECONDS WEST, 709.67 FEET (712.24 FEET, RECORD); THENCE SOUTH 24 DEGREES 41 MINUTES 04 SECONDS EAST, 300.00 FEET; THENCE NORTH 89 DEGREES 44 MINUTES 45 SECONDS EAST, 280.00 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 04 SECONDS EAST, 222.00 FEET; THENCE NORTH 89 DEGREES 47 MINUTES 54 SECONDS EAST, 170.00 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY 37.21 FEET (37.42 FEET, RECORD) ALONG THE ARC OF A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 299.53 FEET, A CHORD BEARING NORTH 86 DEGREES 14 MINUTES 22 SECONDS EAST, AND A CHORD DISTANCE OF 37.19 FEET; THENCE SOUTH 26 DEGREES 04 MINUTES 35 SECONDS EAST, 267.29 FEET (267.70 FEET, RECORD); THENCE NORTH 89 DEGREES 12 MINUTES 11 SECONDS WEST, 38.76 FEET; THENCE SOUTH 00 DEGREES 23 MINUTES 01 SECONDS WEST, 291.00 FEET; THENCE SOUTH 89 DEGREES 38 MINUTES 51 SECONDS EAST, 149.16 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY 25.64 FEET (25.59 FEET, RECORD) ALONG THE ARC OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 15.00 FEET, A CHORD BEARING SOUTH 40 DEGREES 40 MINUTES 16 SECONDS EAST, AND A CHORD DISTANCE OF 22.63 FEET TO A POINT OF TANGENCY; THENCE SOUTH 08 DEGREES 18 MINUTES 18 SECONDS WEST, 59.38 FEET; THENCE SOUTH 81 DEGREES 27 MINUTES 58 SECONDS EAST, 439.65 FEET (440.00 FEET, RECORD); THENCE NORTH 73 DEGREES 35 MINUTES 09 SECONDS EAST, 256.08 FEET (256.42 FEET, RECORD) TO THE SOUTHEAST CORNER OF SAID LAKE LORRAINE ESTATES UNIT ONE, SAID POINT BEING ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 33;

THENCE SOUTH 00 DEGREES 29 MINUTES 33 SECONDS EAST, 542.38 FEET ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 55 MINUTES 29 SECONDS WEST, 470.37 FEET ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER TO THE WEST LINE OF THE EAST 450.00 FEET OF THE NORTHEAST QUARTER OF SAID SECTION 4, ACCORDING TO A DEED RECORDED MAY 30, 1990 AS DOCUMENT NUMBER 2909469; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 230.92 FEET ALONG SAID WEST LINE TO A NORTH LINE OF A PARCEL OF LAND DESCRIBED IN SAID DEED RECORDED MAY 30, 1990 AS DOCUMENT NUMBER 2909469; THENCE NORTH 89 DEGREES 55 MINUTES 29 SECONDS WEST, 1405.62 FEET ALONG SAID NORTH LINE TO A WEST LINE THEREOF; THENCE SOUTH 02 DEGREES 13 MINUTES 24 SECONDS EAST, 1095.61 FEET ALONG SAID WEST LINE TO A POINT ON A SOUTH LINE THEREOF, SAID POINT ALSO BEING ON THE NORTH LINE OF GOVERNMENT LOT 1 OF THE NORTHEAST QUARTER OF SAID SECTION 4; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 1799.85 FEET ALONG SAID NORTH LINE TO A POINT ON A LINE THAT IS 8.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID GOVERNMENT LOT 1; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 693.00 FEET ALONG SAID PARALLEL LINE TO A POINT ON THE SOUTH LINE OF THE NORTH 693.00 FEET OF SAID GOVERNMENT LOT 1; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 8.00 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF SAID GOVERNMENT LOT 1; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 627.99 FEET ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 37 MINUTES 08 SECONDS WEST, 2636.65 FEET ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 1 TO THE CENTER OF SAID SECTION 4; THENCE SOUTH 00 DEGREES 05 MINUTES 41 SECONDS EAST, 349.00 FEET ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4 TO A POINT ON THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER HIGHWAY PLAT RECORDED AS DOCUMENT NUMBER 911716; THENCE NORTH 52 DEGREES 01 MINUTES 58 SECONDS WEST, 63.90 FEET ALONG SAID CENTERLINE TO A POINT OF CURVATURE; THENCE NORTHWESTERLY 623.99 FEET ALONG SAID CENTERLINE PER HIGHWAY PLATS RECORDED AS DOCUMENT NUMBER 911716 AND DOCUMENT NUMBER 981291, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2864.93 FEET AND A CHORD BEARING NORTH 45 DEGREES 47 MINUTES 35 SECONDS WEST, 622.76 FEET; THENCE NORTH 52 DEGREES 49 MINUTES 27 SECONDS EAST, 623.48 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 4; THENCE NORTH 00 DEGREES 03 MINUTES 58 SECONDS EAST, 251.73 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF THE NORTH 570.00 FEET OF GOVERNMENT LOT 1 OF THE NORTHEAST QUARTER OF SAID SECTION 4; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 620.01 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF THE WEST 620.00 FEET OF SAID GOVERNMENT LOT 1; THENCE NORTH 00 DEGREES 03 MINUTES 58 SECONDS EAST, 570.01 FEET ALONG SAID EAST LINE TO A POINT ON THE NORTH LINE OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 34

MINUTES 30 SECONDS WEST, 620.01 FEET ALONG SAID NORTH LINE TO THE NORTHWEST CORNER OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 39 MINUTES 05 SECONDS WEST, 2656.81 FEET ALONG THE SOUTH LINE OF GOVERNMENT LOT 2 OF THE NORTHWEST QUARTER OF SAID SECTION 4 TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 00 DEGREES 16 MINUTES 14 SECONDS WEST, 1308.57 FEET ALONG THE WEST LINE OF SAID GOVERNMENT LOT 2 TO THE NORTHWEST CORNER THEREOF; THENCE SOUTH 89 DEGREES 54 MINUTES 39 SECONDS EAST, 26.56 FEET ALONG THE NORTH LINE OF SAID GOVERNMENT LOT 2 TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL OF LAND:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID GOVERNMENT LOT 2 OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER DOCUMENT NUMBER 981291; THENCE SOUTHEASTERLY 110.53 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 29 DEGREES 29 MINUTES 11 SECONDS EAST, 110.52 FEET TO A POINT OF TANGENCY; THENCE SOUTH 31 DEGREES 02 MINUTES 01 SECONDS EAST, 463.20 FEET ALONG SAID CENTERLINE; THENCE NORTH 21 DEGREES 34 MINUTES 57 SECONDS EAST, 588.56 FEET; THENCE NORTH 35 DEGREES 03 MINUTES 37 SECONDS WEST, 267.00 FEET; THENCE SOUTH 66 DEGREES 08 MINUTES 11 SECONDS WEST, 440.98 FEET TO THE CENTERLINE OF SAID FAIRFIELD ROAD (COUNTY HIGHWAY 49); THENCE SOUTHEASTERLY 105.40 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 26 DEGREES 27 MINUTES 49 SECONDS EAST, 105.39 FEET TO THE POINT OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS.

EXHIBIT "B"

FIFTH AMENDMENT TO ANNEXATION AND DEVELOPMENT AGREEMENT

This FIFTH AMENDMENT TO ANNEXATION AND DEVELOPMENT AGREEMENT (this "Fifth Amendment") is entered into as of May 10, 2023 (the "Effective Date") by and between TOLL IL HWCC, L.P., an Illinois limited partnership ("Toll IL"); M/I Homes of Chicago, LLC, a Delaware limited liability company ("MI"); and the VILLAGE OF HAWTHORN WOODS, an Illinois municipal corporation situated in Lake County, Illinois (the "Village"). Because it joined in the execution of the 2005 Agreement (as hereinafter defined) for the limited purpose of guaranteeing of Toll IL's performance of its obligations under that agreement, Toll Brothers, Inc. ("Toll Brothers") is joining in execution of this Fifth Amendment. Toll IL and Toll Brothers are hereinafter collectively referred to as "Toll". The Village, Toll IL, MI, and Toll Brothers are hereinafter individually referred to as a "Party" and collectively as the "Parties."

RECITALS

- A. The Village, Toll IL, and other parties previously entered into that certain Annexation and Development Agreement recorded in the Office of the Lake County Recorder on May 30, 2003, as Document No. 5251985 (the "Original Agreement"). The Original Agreement was subsequently amended by a First Amendment to Annexation and Development Agreement dated as of October 18, 2004, and recorded in the Office of the Lake County Recorder on November 3, 2004, as Document No. 5675024 (the "First Amendment"), a Second Amendment to Annexation and Development Agreement dated as of March 20, 2006, and recorded in the Office of the Lake County Recorder on August 3, 2007, as Document No. 6222247 (the "Second Amendment"), a Third Amendment to Annexation and Development Agreement dated as of April 2, 2007, and recorded in the Office of the Lake County Recorder on September 27, 2007, as Document No. 6247657 (the "Third Amendment"), and a Fourth Amendment to Annexation and Development Agreement dated as of September 29, 2010, approved by Resolution No 09-29-10-2 but not recorded (the "Fourth Amendment"). The Second Amendment referenced and ratified an additional agreement entered into in 2005 (the "2005 Agreement"). The Original Agreement as modified by the First Amendment, the Second Amendment, the Third Amendment, the Fourth Amendment and the 2005 Agreement are hereinafter the "Amended Agreement."
- B. The real property described in the Original Agreement (the "Property") consists of approximately 674 acres of land located generally in an area bounded by Gilmer Road on the east, Fairfield Road on the west, lying north and south of Schwerman Road, and commonly known as the "Hawthorn Woods Country Club", which is legally described on Exhibit A, attached hereto and incorporated herein.
- C. Toll IL has contracted to sell that portion of the Property consisting of 105 buildable lots (the "Developed Lots") having been previously developed by Toll IL and being legally described in Exhibit B, attached hereto and incorporated herein, to MI. The Developed Lots are listed by lot number, property identification number and address in Exhibit C, attached hereto and incorporated herein. The Developed Lots are depicted in Exhibit D, attached hereto and incorporated herein, which includes the delineation of the lots by series (i.e. Estate Lots, Executive Lots, and Golf Villa Lots).

- D. The Parties now seeks to enter into this Fifth Amendment pursuant to Section 11-15.1-1 et seq. of the Illinois Municipal Code (65 ILCS 5/11-15.1-1 *et seq.*) in order to confirm their respective rights and obligations with respect to Developed Lots and to approve the architecture to be utilized for the construction of new homes on the Developed Lots;
- E. The Parties acknowledge and agree that this Fifth Amendment shall not modify the terms of the Amended Agreement with respect to any portion of the Property other than the Developed Lots.
- F. The Mayor and Board of Trustees of the Village (collectively, the "Corporate Authorities"), after giving all legally required notices and after conducting a public hearing on this Fifth Amendment on April 25, 2022, have concluded that the approval and execution of this Fifth Amendment will promote, enhance and serve the best interests and general welfare of the Village and its citizens.
- G. By a vote of not less than a two-thirds majority of the Corporate Authorities then holding office, the Village has duly adopted an ordinance approving the terms and provisions of this Fifth Amendment and directing the Mayor and Chief Operating Officer to execute this Fifth Amendment on behalf of the Village.

NOW, THEREFORE, in consideration of the mutual covenants, agreement and promises therein contained, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

SECTION 1

RECITALS AND DEFINED TERMS/EFFECT OF FIFTH AMENDMENT AND CONFLICTS/RATIFICATION

- A. Recitals and Defined Terms. The Recitals set forth above constitute a material part of this Fifth Amendment. The Parties hereby confirm the accuracy, truth and validity of said Recitals and do hereby incorporate the same herein as if set forth in their entirety in this Section 1. Capitalized terms that are used but not otherwise defined in this Fifth Amendment shall have the respective meanings ascribed to such terms in the Amended Agreement.
- B. Effect of Fifth Amendment/Conflicts. This Fifth Amendment amends the Amended Agreement. To the extent of any conflict or inconsistency between the terms of the Amended Agreement and this Fifth Amendment, the Fifth Amendment shall supersede and control. Except as set forth in this Fifth Amendment, the Amended Agreement shall remain in full force and effect. From and after the Effective Date of this Fifth Amendment, all references in the Amended Agreement to the "Agreement" or the "Annexation Agreement" shall mean and refer to the Original Agreement, as amended and modified by the First Amendment, 2005 Agreement, Second Amendment, Third Amendment, Fourth Amendment, and Fifth Amendment.

SECTION 2

DEVELOPED LOTS

- A. Toll IL's Development Obligations. The Amended Agreement creates obligations for Toll IL, to among other things, make financial contributions, donate property, obtain permits, and complete construction of both on-site and off-site improvements associated with the development of the Property (the "Toll Development Obligations"). The Parties acknowledge and agree that, except as set forth below with respect to the Building Permit Obligations, Toll IL is not transferring any of

the Toll Development Obligations to MI and that Toll IL shall remain solely and exclusively responsible for all of the Toll Development Obligations as are more specifically identified in the Amended Agreement. To the extent that any Toll Development Obligations have not been completed, the Village hereby agrees to look solely and exclusively to Toll for completion of said obligations. The Village acknowledges and agrees that MI is acquiring the Developed Lots as a builder, not as a developer, and that MI does not assume any obligation as a developer under the Amended Agreement or any other provision of the Village's Municipal Code.

- B. Security for Toll Development Obligations. The Village is holding Improvement Security, pursuant to Section 13(c) of the Original Agreement, to secure outstanding Toll Development Obligations. Toll and the Village hereby agree to audit their respective records and to review the as-built physical condition of secured improvements not previously accepted by the Village for the purpose of reaching an agreed upon punch of list for the completion of the Toll Development Obligations with respect to developed portions of the Property (specifically excluding undeveloped portions of Phase 5 and all of Phase 6). It is agreed by the Parties that undeveloped portions of Phase 5 and Phase 6 shall be subject to applicable requirements of the Amended Agreement and the Village Code, including the completion of public improvements and deposit of security therefore. On or before May 13, 2022, the Village hereby agrees to complete its audit and issue written findings with respect outstanding issues related to the Toll Development Obligations ("Village Report"). On or before June 30, 2022, Toll shall complete its audit and provide a written response to the Village Report ("Toll Report"). Toll and the Village agree to work in good faith to resolve differences between the Village Report and the Toll Report by August 31st, 2022, and the issue a "Final Report" which details the outstanding improvements to be completed under the Toll Development Obligations ("Outstanding Improvements"). In the event that Toll and the Village fail to reach agreement on the terms of a Final Report by August 31, 2022, within 30 days thereafter Toll and the Village shall jointly select a third-party engineer to review the Village Report and the Toll Report and to issue the Final Report. The cost of the third-party engineer and associated issuance of their Final Report shall be divided equally between Toll and the Village. Upon issuance of the Final Report, the Village shall, within thirty days, issue a partial release of the Improvement Security if the cost to complete the Outstanding Improvements is less than the Improvement Security being held by the Village. If the Improvement Security being held by the Village is less than the cost to complete the Outstanding Improvements then Toll shall post additional security (within thirty days), consistent with the provisions of the Amended Agreement, to secure the satisfactory completion of the Outstanding Improvements. Upon issuance of the Final Report, Toll shall have one year to complete the Outstanding Improvements.
- C. Village Issuance of Permits. The Village agrees that it shall not withhold, condition, or otherwise delay the issuance of any building permit or occupancy permit that may be reasonably requested by MI for a Developed Lot based on: i) the incompleteness of one or more of the Toll Development; ii) any dispute between Toll and the Village under Section 2(b) of this Fifth Amendment; or iii) the payment of any fees other than the Building Permit Fees and the Impact Fees (as herein defined). The Village further agrees to issue building permits to MI for the Developed Lots upon: i) the Village's building department having reviewed and approved of architectural drawings consistent with the provision of the Village's Building Code and the Architectural Standards set forth herein; ii) MI's payment of applicable building permit fees as set forth in the Village Code and Section 8(A)(5)(B) of the Amended Agreement (the "Building Permit Fees"); and iii) MI's payment of the

impact fees set forth in Section 8(A)(1) of the Amended Agreement (the "Impact Fees"). The Village agrees to issue temporary occupancy permits for the Developed Lots in the event that certain outdoor improvements (i.e. driveway, sidewalk, landscaping) cannot be completed due to inclement weather.

- D. MI Construction of Homes. MI shall have the right to submit master building plans consistent with the provisions of Section 17A of the Amended Agreement and this Fifth Amendment. Upon the Village's issuance of a building permit for a Developed Lot, MI shall diligently proceed to commence construction of the improvements thereto and shall diligently and continuously work toward completion of the improvements in accordance with the approved permit plans and the Village building permit, which shall expressly include the construction of sidewalk and installation of street trees, as applicable, across the frontage of the Developed Lot for which the building permit was issued (the "Building Permit Obligations").
- E. Recapture. The Village hereby agrees that it shall not approve recapture against any of the Developed Lots. Toll agrees that it shall not seek any recapture against any of the Developed Lots. Notwithstanding the foregoing, the Parties acknowledge that the Settlement Agreement and General Mutual Release by and between the Village, Toll and Aqua Illinois, Inc. ("Settlement Agreement") delineates certain rights and obligations with respect to connections to the WWRR System and Water System (as defined in the Settlement Agreement) serving the Developed Lots. More specifically, Section 9 of the Settlement Agreement provides that: "(i) Toll has existing reservations of sewer and water capacity ... under the Annexation Agreement; (ii) Toll has the absolute right under the Annexation Agreement to connect 189 single family dwelling units to the WWRR System and the Water System without payment of any recapture fees, connection fees or other fees (other than customary and standard usage fees) to either Aqua or the Village; and (iii) neither the Village nor aqua will refuse to allow Toll to connect the 189 dwelling units to the WWRR System or the Water System on the basis that there is insufficient capacity in either system to allow such connections" (each connection being a "Connection Right" and the 189 connections collectively being the "Toll Connection Rights"). Toll and the Village agree that a Connection Right shall be allocated to each of the 105 Developed Lots. Pursuant to separate agreement, Toll shall assign to MI a Connection Right for each Developed Lots acquired by MI. MI shall provide the Village written documentation to evidence assignment of a Connection Right for each Developed Lot as a condition to issuance of a building permit for a Developed Lot. Said written documentation will permit the Village to reasonably track and account for the use and allocation of Toll's Connection Rights as set forth in the Settlement Agreement.

SECTION 3

ARCHITECTURAL & LANDSCAPE APPROVAL

- A. Amendments to Special Use Planned Development. Section 4E of the Original Agreement speaks to the architectural standards for the Property. In light of Toll IL's sale of the Developed Lots to MI, the Parties hereby agree to amend the standards as set forth herein.
- a. Pursuant to Section 9-9A-2 of the Village Code, the regulations set forth in the AO Architectural Overlay District are not applicable to any single-family detached dwelling

use in the R-1 one-family resident district. As such, the Architectural Overlay regulations shall not apply to the Developed Lots.

- b. The Anti-Monotony Standards set forth in Exhibit E (the "Anti-Monotony Standards") are hereby approved. In lieu of Exhibit K to the Original Agreement, the Anti-Monotony Standards shall govern construction on the Developed Lots.
- c. The architectural floor plans (the "Floor Plans") and the building elevations (the "Building Elevations") attached hereto in Exhibit F (the Floor Plans and the Building Elevations are collectively the "MI Plans") are hereby approved. In addition to the Single Family Homes Elevations approved pursuant to Exhibit L to the Original Agreement, the MI Plans are hereby approved for construction on the Developed Lots. Subject to review and approval of the Village Board, and without the requirement to modify the Amended Agreement or this Fifth Amendment, the Village may by resolution and without need for amendment of the Special Use Planned Development: i) approve new floor plans which meet the minimum thresholds set forth in Section 3(A)(d) of this Fifth Amendment; and ii) approve new building Elevations which are consistent with the character and design of the approved Building Elevations.
- d. Exhibit D to the Original Agreement is hereby amended, as to the Developed Lots, as follows:
 - i. Point Homes and Golf Villas (Section I.B.1).
 1. The following Restrictions are hereby terminated:
 - a. Footprints and Minimum Floor Area per Dwelling for single-story homes: 1,500 sq. ft.
 - b. Footprints and Minimum Floor Area per Dwelling for multi-story homes: 1,000 sq. ft. and 2,000 sq. ft respectively.
 2. The following Restrictions are hereby imposed:
 - a. Minimum square footage for a single-story home: 2,225
 - b. Minimum square footage for a multi-story home: 2,892
 - ii. Executive Homes and Estate 120 Homes (Section I.B.2)
 1. The following Restrictions are hereby terminated:
 - a. Footprints and Minimum Floor Area per Dwelling for single-story homes: 1,700 sq. ft.
 - b. Footprints and Minimum Floor Area per Dwelling for multi-story homes: 1,100 sq. ft. and 2,200 sq. ft respectively.
 2. The following Restrictions are hereby imposed:
 - a. Minimum square footage for a single-story home: 2,600
 - b. Minimum square footage for a multi-story home: 2,892
 - iii. Estate Homes (Section I.B.3)
 1. The following Restrictions are hereby terminated:
 - a. Footprints and Minimum Floor Area per Dwelling for single-story homes: 1,700 sq. ft.
 - b. Footprints and Minimum Floor Area per Dwelling for multi-story homes: 1,100 sq. ft. and 2,200 sq. ft respectively.
 2. The following Restrictions are hereby imposed:
 - a. Minimum square footage for a single-story home: Not Permitted

- b. Minimum square footage for a multi-story home: 3,400
 - iv. For purposes of these amendments to Exhibit D of the Original Agreement, the square footage of a home shall be measured consistent with the MI Plans.
- B. Foundation Landscape. The Village hereby approves the MI Homes foundation landscaping plans (the "Foundation Landscape Plan") which are incorporated within the MI Plans attached hereto as Exhibit F. In lieu of any previously approved plan, the Foundation Landscape Plan shall govern foundation plantings on the Developed Lots. The plants depicted on the elevation are representative of an anticipated foundation planting. Foundation plantings shall be required in the front yard of all Developed Lots. Foundation plantings shall be required in the rear yard of a Developed Lot where the rear yard of a Developed Lot immediately abuts the golf course or an existing home in the subdivision. MI may install any combination of plants identified in the "Plant List" on the Foundation Landscape Plan; provided that MI shall install the minimum number of plants scheduled for each "Plant Type" (i.e. 1 Ornamental Tree and 4 Large Shrubs). Based on seasonal availability, MI may substitute plants identified in the plant list provided that the substitute plant is of the same category (i.e. Large Shrub) and is approved by Village staff.

MISCELLANEOUS

- A. Integration. This Fifth Amendment sets forth the entire understanding and agreement of the Parties relative to the subject matter of this Fifth Amendment. All prior discussions, understandings and agreements are expressly merged herein and superseded hereby.
- B. Severability. If any provision of this Fifth Amendment is found to be invalid, illegal or unenforceable by any court of competent jurisdiction, such finding of invalidity, illegality of unenforceability shall not affect the validity, legality or enforceability of any of the remaining provisions of this Fifth Amendment.
- C. Time of Essence. Time is of the essence of this Fifth Amendment and of each and every provision hereof.
- D. Construction. No provision of this Fifth Amendment shall be construed against one Party in favor of another Party because counsel for the former Party may have been principally responsible for the drafting of such provision. The headings used in this Fifth Amendment shall not constitute substantive matter to be considered in construing the provisions of this Fifth Amendment.
- E. Binding Effect. This Fifth Amendment shall be binding upon and shall inure to the benefit of the Parties and their respective successors and assigns.
- F. The Parties acknowledge that as of the time of approval of this Fifth Amendment, MI is a contract purchaser of the Developed Lots. This Fifth Amendment shall not be recorded or become effective until MI acquires title to a Developed Lot. Upon proof of Ownership satisfactory to the Village attorney, the Village shall cause this Fifth Amendment to be recorded. This Fifth Amendment shall become effective upon recording ("Effective Date"). If MI fails to obtain title to a Developed Lot on or before December 1, 2022, this Fifth Amendment shall be deemed null and void having no further force or effect and shall not thereafter be recorded.

IN WITNESS WHEREOF, the Parties have caused this Fifth Amendment to be executed by their duly authorized corporate officers as of the dates set forth below their respective signatures, to be effective as of the Effective Date set forth above.

Signature Pages to Follow

VILLAGE OF HAWTHORN WOODS, an Illinois municipal corporation

By: [Signature]

Dominick DiMaggio, Village Mayor

Attest: [Signature]

Donna Lobaito, Village Clerk

Date of Execution: May 10, 2023

STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that Dominick DiMaggio and Donna Lobaito Village Mayor and Village Clerk, respectively, of the VILLAGE OF HAWTHORN WOODS, and personally known to me to be the same persons whose names are subscribed to the foregoing Fifth Amendment to Annexation and Development Agreement, appeared before me this day in person and severally acknowledged that, as such Village Mayor and Village Clerk, they signed and delivered said Fifth Amendment to Annexation and Development Agreement, pursuant to authority given by the Village Board of said Village, as their free and voluntary act, and as the free and voluntary act and deed of said Village, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 10th day of May, 202³.

[Signature]
Notary Public

My Commission Expires: 5/14/23

TOLL IL HWCC, L.P., an Illinois limited partnership

By: [Signature]

Name: Alex Martin

Its: Division President

Date of Execution: 05/05/22

STATE OF ILLINOIS)

)

COUNTY OF LAKE ^{DuPage})

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that Alex Martin, the Division President, of the TOLL IL GP CORP., an Illinois Corporation and the General Partner of TOLL IL HWCC, L.P., an Illinois limited partnership, and personally known to me to be the same person whose name is subscribed to the foregoing Fifth Amendment to Annexation and Development Agreement, appeared before me this day in person and acknowledged that he/she signed and delivered said Fifth Amendment to Annexation and Development Agreement as Division President of said corporation, as his/her free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 5th day of May, 2022.



Joellen M. Leavy

Notary Public

My Commission Expires: 3/10/2024

M/I HOMES OF CHICAGO, LLC, a Delaware limited liability company

By:

[Handwritten Signature]
Name: Richard J. Champine
Its: Area President

Date of Execution: 10/2/22

STATE OF IL)

COUNTY OF DuPage)

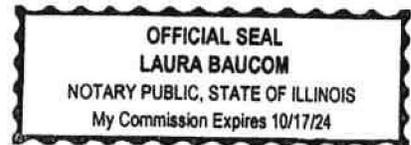
I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that Richard J. Champine, the Area President of M/I HOMES OF CHICAGO, LLC, a Delaware limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing Fifth Amendment to Annexation and Development Agreement, appeared before me this day in person and acknowledged that he/she signed and delivered said Fifth Amendment to Annexation and Development Agreement as Area President of said company, as his/her free and voluntary act, and as the free and voluntary act and deed of said company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 2nd day of June, 2022.

My Commission Expires: 10/17/24

[Handwritten Signature]

Notary Public



TOLL BROTHERS, INC., a Delaware corporation

By: [Signature]

Name: Alex Martin

Its: Division President

Date of Execution: 05/05/22

STATE OF ILLINOIS)

)

COUNTY OF DuPage)
~~LAKE~~

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that Alex Martin, the Division President, of the TOLL BROTHERS, INC., a Delaware corporation, and personally known to me to be the same person whose name is subscribed to the foregoing Fifth Amendment to Annexation and Development Agreement, appeared before me this day in person and acknowledged that he/she signed and delivered said Fifth Amendment to Annexation and Development Agreement as Division President of said corporation, as his/her free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 5th day of May, 2022.



Joellen M. Leavy

Notary Public

My Commission Expires: 3/10/2024

EXHIBIT A

Legal Description of Property (Hawthorn Woods Country Club)

EXHIBIT B

Legal Description of Developed Lots

EXHIBIT C

Developed Lots List of PINS and Addresses

EXHIBIT D

Developed Lots Map

EXHIBIT E

Anti-Monotony Standards

EXHIBIT F

Architectural Plans and Elevations

EXHIBIT A

Legal Description of Property (Hawthorn Woods Country Club)

THAT PART OF THE NORTHWEST QUARTER, THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF THE SOUTHEAST QUARTER OF SECTION 28, AND PART OF SECTION 33 AND PART OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 33, THENCE NORTH 00 DEGREES 05 MINUTES 54 SECONDS EAST, 827.17 FEET (828.3 FEET, DEED) ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 33 TO THE SOUTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 1827397; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 226.39 FEET (225.49 FEET, DEED) ALONG THE SOUTH LINE OF SAID PARCEL TO A POINT ON THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER COUNTY PLATS RECORDED AS DOCUMENT NUMBER 981291 AND DOCUMENT NUMBER 981292; THENCE SOUTHEASTERLY 247.81 FEET (248 FEET DEED) ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 25 DEGREES 06 MINUTES 10 SECONDS EAST, 247.66 FEET; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 527.20 FEET (526.74 FEET, DEED), PARALLEL WITH THE SOUTH LINE OF SAID PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 1827397; THENCE NORTH 02 DEGREES 17 MINUTES 08 SECONDS WEST, 228.28 FEET TO THE SOUTH LINE OF SAID PARCEL OF LAND; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 1805.21 FEET ALONG SAID SOUTH LINE TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 25 MINUTES 17 SECONDS WEST, 990.00 FEET ALONG SAID EAST LINE TO THE NORTHEAST CORNER OF SAID PARCEL OF LAND RECORDED AS DOCUMENT NUMBER 1827397; THENCE SOUTH 87 DEGREES 42 MINUTES 52 SECONDS WEST, 865.09 FEET ALONG THE NORTH LINE OF SAID PARCEL OF LAND TO THE SOUTHEAST CORNER OF BITTERSWEET MEADOWS OPEN SPACE SINGLE-FAMILY RESIDENTIAL HOUSE SUBDIVISION RECORDED AS DOCUMENT NUMBER 4498969; THENCE NORTH 00 DEGREES 06 MINUTES 02 SECONDS EAST, 982.79 FEET (981.76 FEET, RECORD) ALONG THE EAST LINE OF SAID BITTERSWEET MEADOW TO A POINT ON THE CENTERLINE OF SCHWERMAN ROAD; THENCE NORTH 75 DEGREES 40 MINUTES 26 SECONDS WEST, 275.37 FEET (275.47 FEET, RECORD) ALONG SAID CENTERLINE TO AN ANGLE POINT; THENCE NORTH 67 DEGREES 00 MINUTES 35 SECONDS WEST, 592.79 FEET ALONG SAID CENTERLINE TO THE SOUTHEAST CORNER OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 2186020; THENCE NORTH 00 DEGREES 09 MINUTES 59 SECONDS WEST, 1606.00 FEET ALONG THE EASTERLY LINE OF SAID PARCEL OF LAND AND AN EASTERLY LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 4930390, TO

A POINT ON A LINE 7.47 CHAINS (493.02 FEET) SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 55 MINUTES 57 SECONDS EAST, 1659.44 FEET ALONG SAID PARALLEL LINE TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 24 MINUTES 20 SECONDS WEST, 389.02 FEET ALONG SAID WEST LINE TO A POINT ON THE SOUTH LINE OF THE NORTH 105.00 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 50 MINUTES 04 SECONDS EAST, 300.00 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF THE WEST 300.00 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 24 MINUTES 20 SECONDS WEST, 105.00 FEET ALONG SAID EAST LINE TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 10 MINUTES 30 SECONDS WEST, 650.69 FEET (649.77 FEET, DEED) ALONG A LINE 300.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28 TO A POINT ON THE CENTERLINE OF OWENS ROAD; THENCE NORTH 79 DEGREES 04 MINUTES 32 SECONDS EAST, 460.41 FEET ALONG SAID CENTERLINE; THENCE NORTH 43 DEGREES 33 MINUTES 37 SECONDS EAST, 275.52 FEET ALONG SAID CENTERLINE TO A POINT OF INTERSECTION WITH A LINE 371.22 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE NORTH 44 DEGREES 10 MINUTES 15 SECONDS EAST, 530.98 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28; THENCE SOUTH 00 DEGREES 11 MINUTES 09 SECONDS EAST, 676.00 FEET ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 28 TO THE SOUTH LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 4134934; THENCE NORTH 89 DEGREES 50 MINUTES 04 SECONDS EAST, 868.82 FEET ALONG SAID SOUTH LINE; THENCE NORTH 62 DEGREES 11 MINUTES 21 SECONDS EAST, 339.24 FEET (339.27 FEET DEED) ALONG A SOUTHEASTERLY LINE OF SAID PARCEL TO A POINT ON THE CENTERLINE OF GILMER ROAD (COUNTY HIGHWAY 26) PER HIGHWAY PLAT RECORDED AS DOCUMENT NUMBER 446774 AND DOCUMENT NUMBER 446775; THENCE SOUTHEASTERLY 306.31 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 65,317.20 FEET AND A CHORD BEARING SOUTH 28 DEGREES 22 MINUTES 49 SECONDS EAST, 306.31 FEET TO A POINT ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE SOUTH 00 DEGREES 11 MINUTES 48 SECONDS EAST, 527.02 FEET (532.63 FEET, DEED) ALONG THE SAID EAST LINE TO THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE NORTH 89 DEGREES 59 MINUTES 44 SECONDS EAST, 278.22 FEET (278.00 FEET, DEED) ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 34 TO A POINT ON SAID CENTERLINE OF GILMER ROAD (COUNTY HIGHWAY 26); THENCE SOUTH 27 DEGREES 43 MINUTES 45 SECONDS EAST, 1743.73 FEET ALONG SAID CENTERLINE TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY 418.89 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A

CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 114,592.00 FEET AND A CHORD BEARING SOUTH 27 DEGREES 50 MINUTES 02 SECONDS EAST, 418.88 FEET TO A POINT ON THE NORTH LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 665568; THENCE NORTH 89 DEGREES 45 MINUTES 23 SECONDS WEST, 377.05 FEET (406.95 FEET, DEED) ALONG SAID NORTH LINE TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE SOUTH 00 DEGREES 10 MINUTES 34 SECONDS WEST, 731.12 FEET (731.15 FEET, DEED) ALONG THE WEST LINE OF SAID PARCEL TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 34; THENCE NORTH 89 DEGREES 49 MINUTES 26 SECONDS WEST, 875.36 FEET (875.53 FEET, DEED) ALONG SAID SOUTH LINE TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 34; THENCE SOUTH 89 DEGREES 53 MINUTES 36 SECONDS WEST, 1395.65 FEET (1395.94 FEET, RECORD) ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 TO THE NORTHWEST CORNER OF LAKE LORRAINE ESTATES UNIT ONE RECORDED AS DOCUMENT NUMBER 2634403; THENCE SOUTHERLY AND EASTERLY ALONG THE BOUNDARY OF SAID LAKE LORRAINE ESTATES UNIT ONE THE FOLLOWING 19 COURSES:

THENCE SOUTH 00 DEGREES 06 MINUTES 24 SECONDS EAST, 40.00 FEET; THENCE SOUTH 21 DEGREES 44 MINUTES 50 SECONDS EAST, 74.87 FEET (75.00 FEET, RECORD); THENCE SOUTH 43 DEGREES 26 MINUTES 18 SECONDS EAST, 120.00 FEET; THENCE SOUTH 22 DEGREES 22 MINUTES 18 SECONDS EAST, 80.00 FEET; THENCE SOUTH 04 DEGREES 45 MINUTES 22 SECONDS EAST, 80.10 FEET; THENCE SOUTH 21 DEGREES 28 MINUTES 02 SECONDS WEST, 709.67 FEET (712.24 FEET, RECORD); THENCE SOUTH 24 DEGREES 41 MINUTES 04 SECONDS EAST, 300.00 FEET; THENCE NORTH 89 DEGREES 44 MINUTES 45 SECONDS EAST, 280.00 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 04 SECONDS EAST, 222.00 FEET; THENCE NORTH 89 DEGREES 47 MINUTES 54 SECONDS EAST, 170.00 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY 37.21 FEET (37.42 FEET, RECORD) ALONG THE ARC OF A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 299.53 FEET, A CHORD BEARING NORTH 86 DEGREES 14 MINUTES 22 SECONDS EAST, AND A CHORD DISTANCE OF 37.19 FEET; THENCE SOUTH 26 DEGREES 04 MINUTES 35 SECONDS EAST, 267.29 FEET (267.70 FEET, RECORD); THENCE NORTH 89 DEGREES 12 MINUTES 11 SECONDS WEST, 38.76 FEET; THENCE SOUTH 00 DEGREES 23 MINUTES 01 SECONDS WEST, 291.00 FEET; THENCE SOUTH 89 DEGREES 38 MINUTES 51 SECONDS EAST, 149.16 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY 25.64 FEET (25.59 FEET, RECORD) ALONG THE ARC OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 15.00 FEET, A CHORD BEARING SOUTH 40 DEGREES 40 MINUTES 16 SECONDS EAST, AND A CHORD DISTANCE OF 22.63 FEET TO A POINT OF TANGENCY; THENCE SOUTH 08 DEGREES 18 MINUTES 18 SECONDS WEST, 59.38 FEET; THENCE SOUTH 81 DEGREES 27 MINUTES 58 SECONDS EAST, 439.65 FEET (440.00 FEET, RECORD); THENCE NORTH 73 DEGREES 35 MINUTES 09 SECONDS EAST, 256.08 FEET (256.42 FEET, RECORD) TO THE SOUTHEAST CORNER OF SAID LAKE LORRAINE ESTATES UNIT ONE, SAID POINT BEING ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 33;

THENCE SOUTH 00 DEGREES 29 MINUTES 33 SECONDS EAST, 542.38 FEET ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 55 MINUTES 29 SECONDS WEST, 470.37 FEET ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER TO THE WEST LINE OF THE EAST 450.00 FEET OF THE NORTHEAST QUARTER OF SAID SECTION 4, ACCORDING TO A DEED RECORDED MAY 30, 1990 AS DOCUMENT NUMBER 2909469; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 230.92 FEET ALONG SAID WEST LINE TO A NORTH LINE OF A PARCEL OF LAND DESCRIBED IN SAID DEED RECORDED MAY 30, 1990 AS DOCUMENT NUMBER 2909469; THENCE NORTH 89 DEGREES 55 MINUTES 29 SECONDS WEST, 1405.62 FEET ALONG SAID NORTH LINE TO A WEST LINE THEREOF; THENCE SOUTH 02 DEGREES 13 MINUTES 24 SECONDS EAST, 1095.61 FEET ALONG SAID WEST LINE TO A POINT ON A SOUTH LINE THEREOF, SAID POINT ALSO BEING ON THE NORTH LINE OF GOVERNMENT LOT 1 OF THE NORTHEAST QUARTER OF SAID SECTION 4; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 1799.85 FEET ALONG SAID NORTH LINE TO A POINT ON A LINE THAT IS 8.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID GOVERNMENT LOT 1; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 693.00 FEET ALONG SAID PARALLEL LINE TO A POINT ON THE SOUTH LINE OF THE NORTH 693.00 FEET OF SAID GOVERNMENT LOT 1; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 8.00 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF SAID GOVERNMENT LOT 1; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 627.99 FEET ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 37 MINUTES 08 SECONDS WEST, 2636.65 FEET ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 1 TO THE CENTER OF SAID SECTION 4; THENCE SOUTH 00 DEGREES 05 MINUTES 41 SECONDS EAST, 349.00 FEET ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4 TO A POINT ON THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER HIGHWAY PLAT RECORDED AS DOCUMENT NUMBER 911716; THENCE NORTH 52 DEGREES 01 MINUTES 58 SECONDS WEST, 63.90 FEET ALONG SAID CENTERLINE TO A POINT OF CURVATURE; THENCE NORTHWESTERLY 623.99 FEET ALONG SAID CENTERLINE PER HIGHWAY PLATS RECORDED AS DOCUMENT NUMBER 911716 AND DOCUMENT NUMBER 981291, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2864.93 FEET AND A CHORD BEARING NORTH 45 DEGREES 47 MINUTES 35 SECONDS WEST, 622.76 FEET; THENCE NORTH 52 DEGREES 49 MINUTES 27 SECONDS EAST, 623.48 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 4; THENCE NORTH 00 DEGREES 03 MINUTES 58 SECONDS EAST, 251.73 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF THE NORTH 570.00 FEET OF GOVERNMENT LOT 1 OF THE NORTHEAST QUARTER OF SAID SECTION 4; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 620.01 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF THE WEST 620.00 FEET OF SAID GOVERNMENT LOT 1; THENCE NORTH 00 DEGREES 03 MINUTES 58 SECONDS EAST, 570.01 FEET ALONG SAID EAST LINE TO A POINT ON THE NORTH LINE OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 34

MINUTES 30 SECONDS WEST, 620.01 FEET ALONG SAID NORTH LINE TO THE NORTHWEST CORNER OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 39 MINUTES 05 SECONDS WEST, 2656.81 FEET ALONG THE SOUTH LINE OF GOVERNMENT LOT 2 OF THE NORTHWEST QUARTER OF SAID SECTION 4 TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 00 DEGREES 15 MINUTES 14 SECONDS WEST, 1308.57 FEET ALONG THE WEST LINE OF SAID GOVERNMENT LOT 2 TO THE NORTHWEST CORNER THEREOF; THENCE SOUTH 89 DEGREES 54 MINUTES 39 SECONDS EAST, 26.56 FEET ALONG THE NORTH LINE OF SAID GOVERNMENT LOT 2 TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL OF LAND:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID GOVERNMENT LOT 2 OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER DOCUMENT NUMBER 981291; THENCE SOUTHEASTERLY 110.53 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 29 DEGREES 29 MINUTES 11 SECONDS EAST, 110.52 FEET TO A POINT OF TANGENCY; THENCE SOUTH 31 DEGREES 02 MINUTES 01 SECONDS EAST, 463.20 FEET ALONG SAID CENTERLINE; THENCE NORTH 21 DEGREES 34 MINUTES 57 SECONDS EAST, 588.56 FEET; THENCE NORTH 35 DEGREES 03 MINUTES 37 SECONDS WEST, 267.00 FEET; THENCE SOUTH 66 DEGREES 08 MINUTES 11 SECONDS WEST, 440.98 FEET TO THE CENTERLINE OF SAID FAIRFIELD ROAD (COUNTY HIGHWAY 49); THENCE SOUTHEASTERLY 105.40 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 26 DEGREES 27 MINUTES 49 SECONDS EAST, 105.39 FEET TO THE POINT OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS.

EXHIBIT B

Legal Description of Developed Lots

PARCEL 1:

LOTS 27, 52, 96, 100, 101, 104, 105, 106, 107, 108, 109 AND 110 IN HAWTHORN WOODS COUNTRY CLUB PHASE 1, BEING A SUBDIVISION OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 30, 2004 AS DOCUMENT 5613059 AND CERTIFICATE OF CORRECTION RECORDED OCTOBER 13, 2004 AS DOCUMENT 5662935 AND CERTIFICATE OF CORRECTION RECORDED DECEMBER 17, 2004 AS DOCUMENT 5702346, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:

LOTS 324, 326, 327, 359, 378, 379, 387 AND 391 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 23, 2005 AS DOCUMENT 5804408 IN LAKE COUNTY, ILLINOIS.

PARCEL 3:

LOTS 275, 276, 277, 279, 281, 287, 290, 294, 472, 475 AND 476 IN HAWTHORN WOODS COUNTRY CLUB PHASE 3, BEING A SUBDIVISION OF OUTLOT AA, OUTLOT BB, OUTLOT CC, OUTLOT HH AND OUTLOT KK IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 26, 2005 AS DOCUMENT 5883372 AND CERTIFICATE OF CORRECTION RECORDED NOVEMBER 2, 2005 AS DOCUMENT 5888575, IN LAKE COUNTY, ILLINOIS.

PARCEL 4:

LOTS 208, 209, 210, 211, 213, 214, 215, 216, 218, 219, 221, 222, 229, 231, 234, 235, 237, 239, 240, 241, 242, 243, 244, 245, 246, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 361, 369, 371, 372, 375 AND 376 IN HAWTHORN WOODS COUNTRY CLUB PHASE 4, BEING A RESUBDIVISION OF OUTLOT DD, OUTLOT EE AND OUTLOT II IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 5, 2006 AS DOCUMENT 5925443, IN LAKE COUNTY, ILLINOIS.

PARCEL 5:

LOTS 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 64, 65, 66, 67, 68, 71, 72 AND 73 IN HAWTHORN WOODS COUNTRY CLUB PHASE 5, BEING A RESUBDIVISION OF OUTLOT GG AND OUTLOT JJ IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 26, 2008 AS DOCUMENT 6323454, IN LAKE COUNTY, ILLINOIS.

EXHIBIT C
Developed Lots List of PINS and Addresses

Lot #	PIN	Address
27	10-33-405-107	11 Somerset Hills Ct., Hawthorn Woods, IL 60047
	10-33-405-117	
39	14-04-201-068	4 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-118	
40	14-04-201-069	6 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-119	
41	14-04-201-070	8 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-120	
42	14-04-201-071	10 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-121	
43	14-04-201-072	12 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-122	
44	14-04-201-073	14 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-123	
45	14-04-201-074	16 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-124	
46	14-04-201-075	18 Crystal Downs Dr., Hawthorn Woods, IL 60047
47	10-33-405-128	20 Crystal Downs Dr., Hawthorn Woods, IL 60047
48	10-33-405-127	24 Crystal Downs Dr., Hawthorn Woods, IL 60047
49	10-33-405-126	26 Crystal Downs Dr., Hawthorn Woods, IL 60047
50	10-33-405-125	28 Crystal Downs Dr., Hawthorn Woods, IL 60047
52	14-04-201-053	0 Tournament Dr., E, Hawthorn Woods, IL 60047
53	10-33-405-132	4 Oakland Hills Ct., Hawthorn Woods, IL 60047
54	10-33-405-133	6 Oakland Hills Ct., Hawthorn Woods, IL 60047
55	10-33-405-134	8 Oakland Hills Ct., Hawthorn Woods, IL 60047
56	10-33-405-135	12 Oakland Hills Ct., Hawthorn Woods, IL 60047
57	10-33-405-136	11 Oakland Hills Ct., Hawthorn Woods, IL 60047
58	10-33-405-141	9 Oakland Hills Ct., Hawthorn Woods, IL 60047
59	10-33-405-140	7 Oakland Hills Ct., Hawthorn Woods, IL 60047
60	10-33-405-139	5 Oakland Hills Ct., Hawthorn Woods, IL 60047
61	10-33-405-138	3 Oakland Hills Ct., Hawthorn Woods, IL 60047
62	10-33-405-137	1 Oakland Hills Ct., Hawthorn Woods, IL 60047
64	14-04-201-086	21 Crystal Downs Dr., Hawthorn Woods, IL 60047
65	14-04-201-085	19 Crystal Downs Dr., Hawthorn Woods, IL 60047
66	14-04-201-084	17 Crystal Downs Dr., Hawthorn Woods, IL 60047
67	14-04-201-083	15 Crystal Downs Dr., Hawthorn Woods, IL 60047
68	14-04-201-082	13 Crystal Downs Dr., Hawthorn Woods, IL 60047
71	14-04-201-079	7 Crystal Downs Dr., Hawthorn Woods, IL 60047
72	14-04-201-078	5 Crystal Downs Dr., Hawthorn Woods, IL 60047
73	14-04-201-077	3 Crystal Downs Dr., Hawthorn Woods, IL 60047
96	14-04-201-038	96 Tournament Dr. S, Hawthorn Woods, IL 60047
100	14-04-201-042	108 Tournament Dr. E, Hawthorn Woods, IL 60047
101	14-04-201-043	110 Tournament Dr. E, Hawthorn Woods, IL 60047
104	14-04-201-046	116 Tournament Dr. E, Hawthorn Woods, IL 60047
105	14-04-201-047	118 Tournament Dr. E, Hawthorn Woods, IL 60047
106	14-04-201-048	120 Tournament Dr. E, Hawthorn Woods, IL 60047

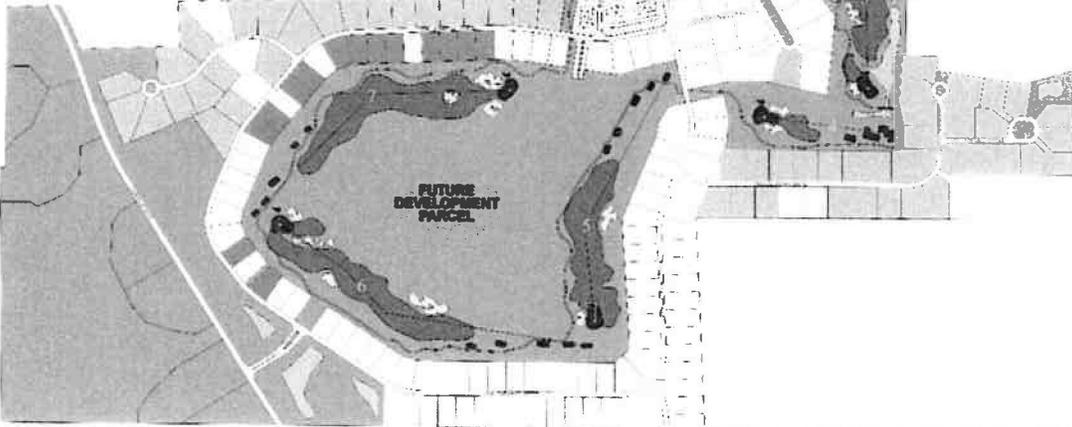
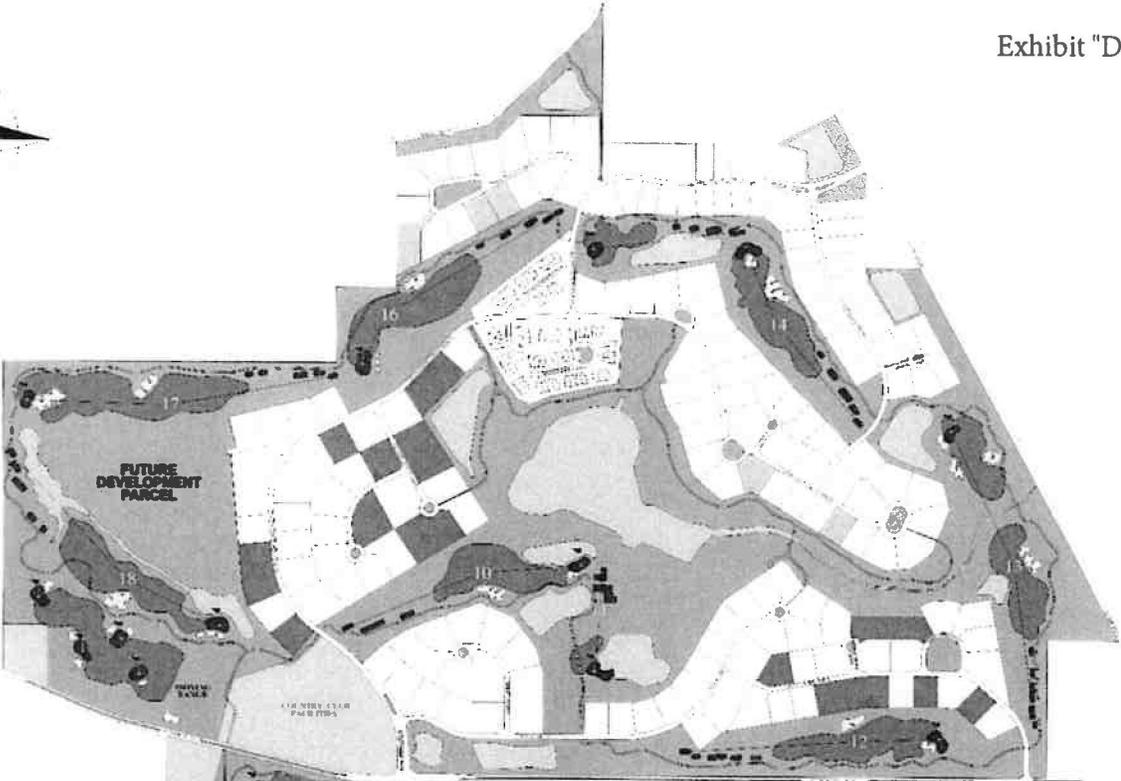
107	14-04-201-049	122 Tournament Dr. E, Hawthorn Woods, IL 60047
108	14-04-201-050	124 Tournament Dr. E, Hawthorn Woods, IL 60047
109	14-04-201-051	126 Tournament Dr. E, Hawthorn Woods, IL 60047
110	14-04-201-052	128 Tournament Dr., E, Hawthorn Woods, IL 60047
208	10-33-303-048	17 Open Pkwy N, Hawthorn Woods, IL 60047
209	10-33-303-047	19 Open Pkwy N, Hawthorn Woods, IL 60047
210	10-33-303-046	21 Open Pkwy N, Hawthorn Woods, IL 60047
211	10-33-303-045	23 Open Pkwy N, Hawthorn Woods, IL 60047
213	10-33-303-043	27 Open Pkwy N, Hawthorn Woods, IL 60047
214	10-33-303-042	29 Open Pkwy N, Hawthorn Woods, IL 60047
215	10-33-303-041	31 Open Pkwy N, Hawthorn Woods, IL 60047
216	10-33-303-040	33 Open Pkwy N, Hawthorn Woods, IL 60047
218	10-33-303-038	37 Open Pkwy N, Hawthorn Woods, IL 60047
219	10-33-303-037	39 Open Pkwy N, Hawthorn Woods, IL 60047
221	10-33-303-035	43 Open Pkwy N, Hawthorn Woods, IL 60047
222	10-33-303-034	45 Open Pkwy N, Hawthorn Woods, IL 60047
229	14-04-104-037	59 Open Pkwy N, Hawthorn Woods, IL 60047
231	14-04-104-039	63 Open Pkwy N, Hawthorn Woods, IL 60047
234	10-33-303-028	44 Open Pkwy N, Hawthorn Woods, IL 60047
235	10-33-303-029	42 Open Pkwy N, Hawthorn Woods, IL 60047
237	10-33-303-031	1 Glen Club Ct., Hawthorn Woods, IL 60047
239	10-33-303-026	5 Glen Club Ct., Hawthorn Woods, IL 60047
240	10-33-303-025	7 Glen Club Ct., Hawthorn Woods, IL 60047
241	10-33-303-024	9 Glen Club Ct., Hawthorn Woods, IL 60047
242	10-33-303-023	11 Glen Club Ct., Hawthorn Woods, IL 60047
243	10-33-303-022	13 Glen Club Ct., Hawthorn Woods, IL 60047
244	10-33-303-020	14 Glen Club Ct., Hawthorn Woods, IL 60047
245	10-33-303-005	12 Glen Club Ct., Hawthorn Woods, IL 60047
246	10-33-303-006	10 Glen Club Ct., Hawthorn Woods, IL 60047
248	10-33-303-008	6 Glen Club Ct., Hawthorn Woods, IL 60047
249	10-33-303-009	4 Glen Club Ct., Hawthorn Woods, IL 60047
250	10-33-303-010	2 Glen Club Ct., Hawthorn Woods, IL 60047
251	10-33-303-011	34 Open Pkwy N, Hawthorn Woods, IL 60047
252	10-33-303-012	32 Open Pkwy N, Hawthorn Woods, IL 60047
253	10-33-303-013	30 Open Pkwy N, Hawthorn Woods, IL 60047
254	10-33-303-014	28 Open Pkwy N, Hawthorn Woods, IL 60047
255	10-33-303-015	26 Open Pkwy N, Hawthorn Woods, IL 60047
256	10-33-303-016	24 Open Pkwy N, Hawthorn Woods, IL 60047
257	10-33-303-017	22 Open Pkwy N, Hawthorn Woods, IL 60047
258	10-33-303-018	20 Open Pkwy N, Hawthorn Woods, IL 60047
259	10-33-303-019	18 Open Pkwy N, Hawthorn Woods, IL 60047
260	10-33-405-115	16 Open Pkwy N, Hawthorn Woods, IL 60047
275	10-33-202-029	9 Briar Creek Dr., Hawthorn Woods, IL 60047
276	10-33-202-030	11 Briar Creek Dr., Hawthorn Woods, IL 60047
277	10-34-102-027	13 Briar Creek Dr., Hawthorn Woods, IL 60047
279	10-34-102-029	17 Briar Creek Dr., Hawthorn Woods, IL 60047
281	10-34-102-031	21 Briar Creek Dr., Hawthorn Woods, IL 60047

287	10-34-102-019	18 Briar Creek Dr., Hawthorn Woods, IL 60047
290	10-34-102-018	12 Whisper Creek Ct., Hawthorn Woods, IL 60047
294	10-33-202-023	4 Briar Creek Dr., Hawthorn Woods, IL 60047
324	10-33-104-023	9 Tournament Dr. N, Hawthorn Woods, IL 60047
326	10-33-104-021	13 Tournament Dr. N, Hawthorn Woods, IL 60047
327	10-33-104-020	15 Tournament Dr., N, Hawthorn Woods, IL 60047
359	10-33-201-062	24 Tournament Dr. N, Hawthorn Woods, IL 60047
361	10-33-201-136	2 Prairie Landings Ct., Hawthorn Woods, IL 60047
369	10-33-201-139	3 Prairie Landings Ct., Hawthorn Woods, IL 60047
371	10-33-201-144	7 Olympia Fields, Hawthorn Woods, IL 60047
372	10-33-201-145	9 Olympia Fields, Hawthorn Woods, IL 60047
375	10-33-201-146	6 Olympia Fields, Hawthorn Woods, IL 60047
376	10-33-201-138	4 Olympic Field Ct., Hawthorn Woods, IL 60047
378	10-33-201-065	30 Tournament Dr. N, Hawthorn Woods, IL 60047
379	10-33-201-066	32 Tournament Dr. N, Hawthorn Woods, IL 60047
387	10-33-201-125	72 Tournament Dr. N, Hawthorn Woods, IL 60047
391	10-33-201-129	80 Tournament Dr. N, Hawthorn Woods, IL 60047
472	10-28-405-048	17 Twin Eagles Ct., Hawthorn Woods, IL 60047
475	10-28-405-051	11 Twin Eagles Ct., Hawthorn Woods, IL 60047
476	10-28-405-052	9 Twin Eagles Ct., Hawthorn Woods, IL 60047

EXHIBIT D
Developed Lots Map

EXHIBIT E
Anti-Monotony Standards

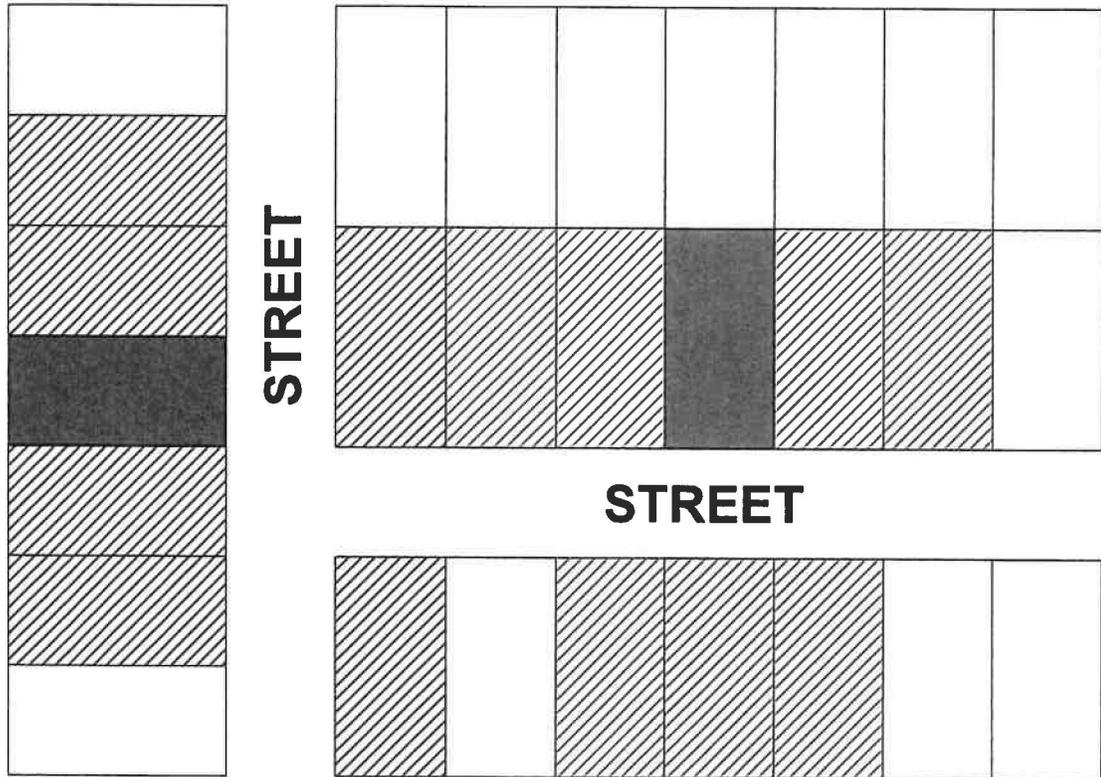
EXHIBIT F
Architectural Plans and Elevations



Hawthorn Woods Country Club

-  20 ESTATE LOTS*
-  71 EXECUTIVE LOTS
-  14 GOLF VILLA LOTS
-  OCCUPIED HOME

Exhibit "E"



LEGEND

- LOTS
- SOLD HOME
- SHALL NOT BE SAME MODEL AND ELEVATION AS SOLD HOME
- SOLD HOME
- SHALL NOT BE SAME MODEL AND ELEVATION AS SOLD HOME

Exhibit "F"



**M/I Homes Architecture Booklet &
Foundation Landscaping**

1/14/22

Model Name	Plan Type	Bedrooms	SqFT	Garage
Sumner (side load)	Two-Story	4-5	4001	3
Stockton	Two-Story	4-5	3816	3
Stockton (side load)	Two-Story	4-5	3816	3
Sumner	Two-Story	4-5	3405-3887	3
Stanley (side load)	Two-Story	4-5	3334 – 3473	3
Stanley	Two-Story	4-5	3334 - 3473	3
Lyndale	Two-Story	4-5	3360 - 3505	3
Hudson	Two-Story	4-5	3163 - 3831	3
Hudson (side load)	Two-Story	4-5	3163 - 3831	3
Fairbanks	Two-Story	4-5	3001 - 3262	3
Essex	Two-Story	4-6	3044	3
Eastman	Two-Story	4	2892	3
Elbridge	Ranch	2-3	2225 - 2443	3

Sumner
(Side Load Garage)
4001 s.f.



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Color Collection 10

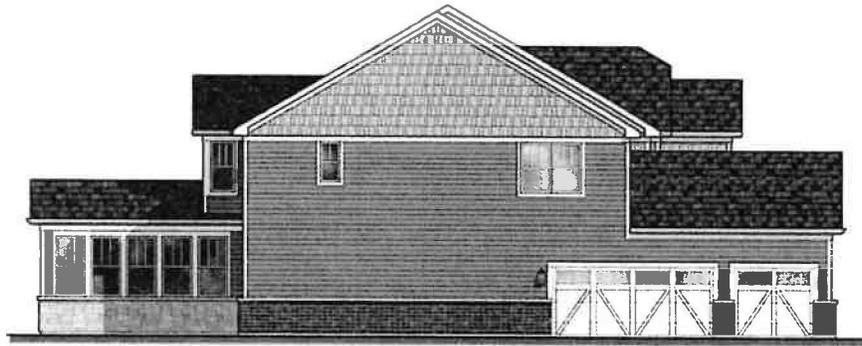
Lot Siding	Hardie® - Park Lane Siding
Shake Siding	Hardie® - Shake Siding
Exterior Trim	UP - SmartTrim Siding
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Vogens - Oakfield Machine Cut Veneer
Gutters	3" Aluminum Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Street Entry Elevator
Front Door	6' x 1' 00" All Transom
Garage Door	Insulated - Street Entry Elevator
Windows	Vinyl - Low E Insulated 33 L-Value



Front Elevation

Sumner
Craftsman

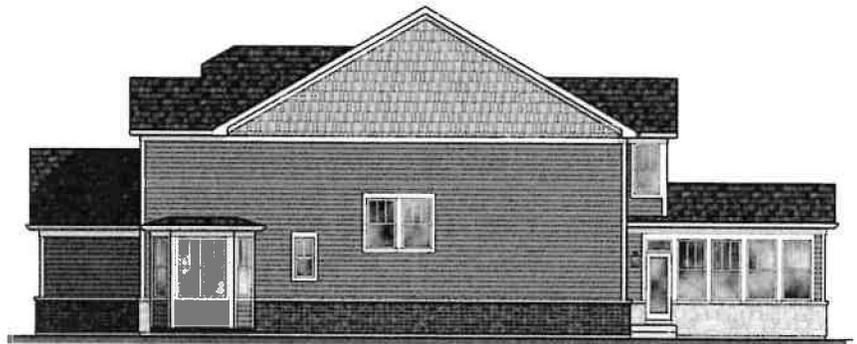

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Left Elevation



Rear Elevation



Right Elevation

**Sumner
Craftsman**

Color Collection 8

Lead Siding	HardieBelt Dark Lead Siding
Vertical Siding	HardieBelt Fore Vertical Siding
Exterior Trim	UP Engine Trim Siding
Shutters	Yorin Decorative
Columns & Posts	Yorin Aluminum
Roofing	Laminated Architectural Shingles
Stone	Essex Vantage Dark Machine Cut Veneer Standard Mount
Brick	
Gutters	5 Aluminum Style
Deck Scares	2 x 3 Aluminum
Entry Door	Fire gas Insulated 5 1/2" x 6 1/2" Elevation
Patio Door	6 1/2" x 6 1/2" w/ Transom
Garage Door	See Insulated 5 1/2" x 6 1/2" Elevation
Windows	Yorin Lead Elevated 33 LxVxL



Front Elevation

Sumner
English Country


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Left Elevation



Rear Elevation



Right Elevation

Sumner English Country



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Color Collection 17

Ceiling	Hardie - Panel Siding
Vertical Siding	Hardie - Panel Vertical Siding
Exterior Trim	UP - SmartTrim 2x4
Shutters	YFS - Decorative
Doors & Windows	YFS - Aluminum
Flooring	Laminated / Architectural Tiles
Brick	Standard Modular
Stone	Eden's Valleys - Oakfield Machine Cut Veneer
Gutters	3" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	Heavy Insulated - 5 Panel Elevator
Front Door	5 Panel 100% Fiberglass
Garage Door	Steel Insulated - 5 Panel Elevator
Windows	YFS - Low E Insulated 25 L-Value



Front Elevation

Sumner
Urban Farmhouse

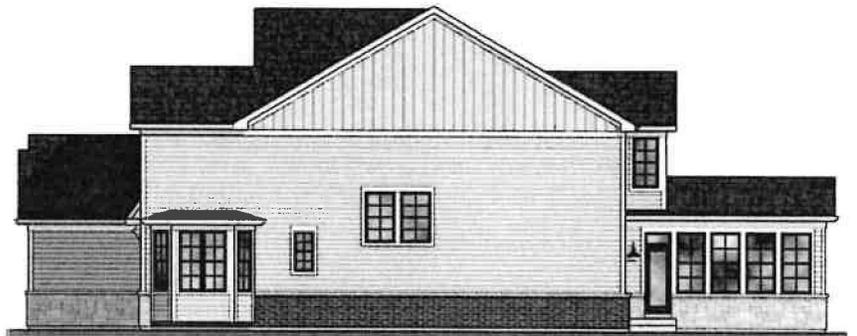

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Left Elevation



Rear Elevation



Right Elevation

Sumner
Urban Farmhouse



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Color Collection 7

Lap Siding	HardieBelt® Park Lap Siding
Eaves Trim	UP Color Trim 214
Shutters	Vinyl Decorative
Columns & Fascia	Vinyl Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Gutters	2" Aluminum Style
Deck Scafe	2 x 3 Aluminum
Entry Door	FiberGlast Insulated 5-Panel Elevator
Patio Door	60x80GWR Transom
Garage Door	Steel Insulated 5-Panel Elevator
Windows	Vinyl Low E Insulated 33 U-Value



Front Elevation

Sumner
Prairie


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Left Elevation



Rear Elevation



Right Elevation

Sumner Prairie

Color Collection 3

Landings	Hardie - Plank Lap Siding
Energetic	LF - Smart-Touch®
Shutters	Vinyl - Decorative
Trim & Folia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	3" Aluminum Style
Down Spouts	2 x 3" Aluminum
Entry Door	FiberGloss Insulated - Style per Elevation
Front Door	6015100 w/ Transom
Garage Door	FiberGloss Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 32 U-Value



Front Elevation

Sumner
Traditional


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Left Elevation



Rear Elevation



Right Elevation

Sumner Traditional

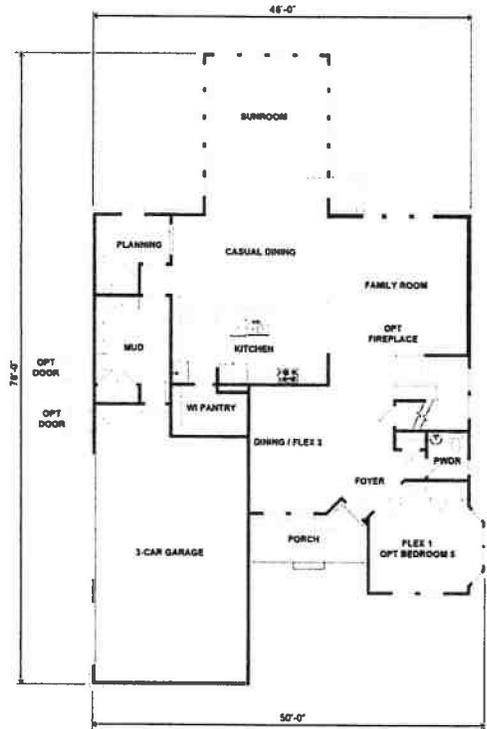

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Plan Options



Upper Floor Plan



Main Floor Plan

Sumner

Color Collection 10

Exterior Siding	Harvest - Farmhouse Siding
Stone Siding	Harvest - Stone Siding
Exterior Trim	White - Contrast Siding
Shutters	White - Contrast Siding
Ceilings & Faux Ceilings	White - Contrast Siding
Roofing	Laminated - Architectural Shingles
Flats	Dark Gray - Modern
Stone	Eden's Visions - Oakley Machine Cut Veneer
Gutters	Dark Gray - Modern
Down Spouts	Dark Gray - Modern
Entry Door	Dark Gray - Modern
Front Door	Dark Gray - Modern
Garage Door	Dark Gray - Modern
Windows	White - Contrast Siding



Front Elevation

Sumner
Craftsman


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Left Elevation



Rear Elevation



Right Elevation

Sumner Craftsman

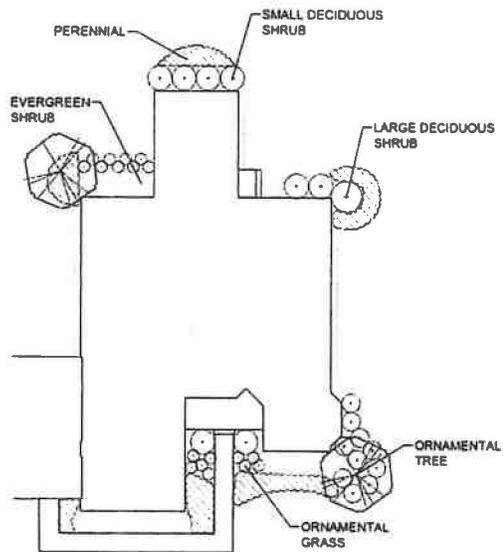

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REAR YARD PLANT LIST- GOLF COURSE LOT

QTY	PLANT TYPE
(1)	ORNAMENTAL TREES (1' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
(1)	LARGE SHRUBS (10' TALL / 1/3 GAL.) BAILEY'S REDTWIN DOGWOOD HYDRANGEA SPECIES*
(6)	SMALL SHRUBS (18" TALL / 1/3 GAL.) ARCTIC FIRE REDTWIN DOGWOOD NINEBARK SPECIES ROSE SPECIES
(3)	EVERGREEN SHRUBS (24" WIDE / 1/3 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
(9)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
(10)	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
(1)	ORNAMENTAL TREES (1' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
(4)	LARGE SHRUBS (10' TALL / 1/3 GAL.) BAILEY'S REDTWIN DOGWOOD HYDRANGEA SPECIES*
(10)	SMALL SHRUBS (18" TALL / 1/3 GAL.) ARCTIC FIRE REDTWIN DOGWOOD NINEBARK SPECIES ROSE SPECIES
(3)	EVERGREEN SHRUBS (24" WIDE / 1/3 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
(9)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
(10)	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Sumner

Stockton

3816 s.f.



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Color Collection 7

Lead Siding	HardieB - Park Lane Siding
Exterior Trim	UP - Smart Trim Siding
Shutters	UP - Decorative
Shells & Fascia	UP - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Brick
Gutters	2 - Aluminum Style
Down Spouts	2 - 3 - Aluminum
Entry Door	Fiber Glass Insulated - Style per Elevation
Patio Door	150 - 100 w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Stockton
Arts and Crafts


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Rear Elevation



Left Elevation



Right Elevation

Stockton
Arts and Crafts


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Color Collection 1

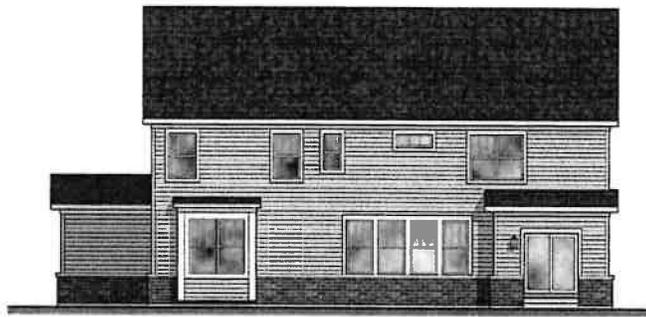
Lane Siding	Hardie® Plank Lap Siding
Shake Siding	Hardie® Single Lap Siding
Exterior Trim	LP Smartboard® Siding
Shutters	Vinyl Decorative
Columns & Posts	Vinyl / Aluminum
Flooring	Laminated Architectural Siding
Brick	Standard Masonry
Stone	Eden's Valleys - Oakleaf Machine Cut Veneer
Gutters	2" Aluminum Siding
Down Spouts	2" x 3" Aluminum
Entry Door	48" x 80" Insulated - Street Entry Elevator
Front Door	48" x 80" w/ Transom
Garage Door	Steel Insulated - Street Entry Elevator
Windows	Vinyl - Low E Insulated 33 L-Value



Front Elevation

Stockton
Craftsman

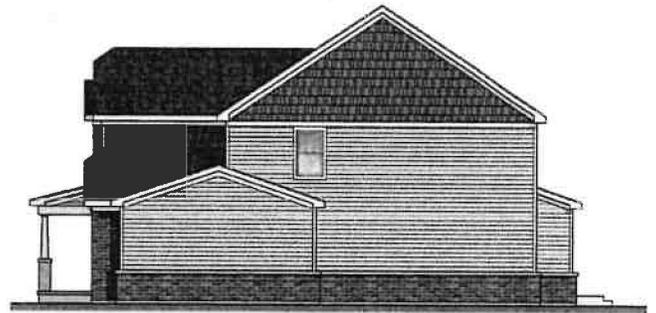

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Rear Elevation



Left Elevation



Right Elevation

Stockton
Craftsman


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Color Collection 16

Lan Siding	None 8 - Park Lac Siding
Vertical Siding	None 8 - Park Vertical Siding
Exterior Trim	19 - Single Trim SIA
Shutters	17 - Decorative
Columns & Posts	22 - Aluminum
Flooring	Laminated - Arch-Natural Siding
Stone	Eden Vabers - Oakleaf Machine Cut Veneer
Brick	Standard/Radius
Gutters	3 - Aluminum Style
Downspouts	2 x 3 - Aluminum
Entry Door	Fiberglass Insulated - Street Elevator
Patio Door	6281GG w/ Transom
Garage Door	Steel Insulated - Street Elevator
Windows	17 - Low E Insulated 33 L-Value



Front Elevation

**Stockton
Low Country**

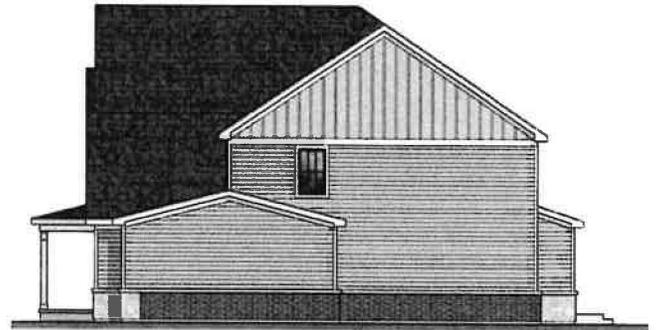

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Rear Elevation



Left Elevation



Right Elevation

Stockton
Low Country


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Color Collection 12

Cab. Finish	Maple S - Plain Lac. Stng.
Exterior Trim	LF - Smart Trim 214
Shutters	214 - Decorative
Doors & Panels	214/1 Aluminum
Roofing	Lowpitched - Architectural Shingles
Brick	Standard Brick
Gutters	3" Aluminum F-Style
Door Sashes	1 x 3 Aluminum
Entry Door	Fiberglass Insulated - Street Elevation
Patio Door	100 SDD w/ Transom
Garage Door	Steel Insulated - Street Elevation
Windows	Vinyl Low E Insulated 33 L-Value



Front Elevation

Stockton
Manor


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Rear Elevation

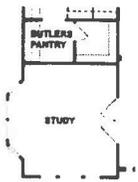


Left Elevation



Right Elevation

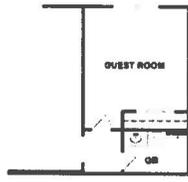
Stockton
Manor



Study w/ Butlers Pantry



Study



Guest Room



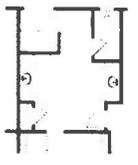
Bedroom 4 w/ Bath



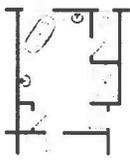
Pocket Office



Bedroom 5



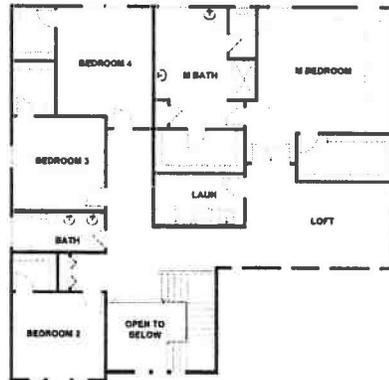
Walk-in Shower



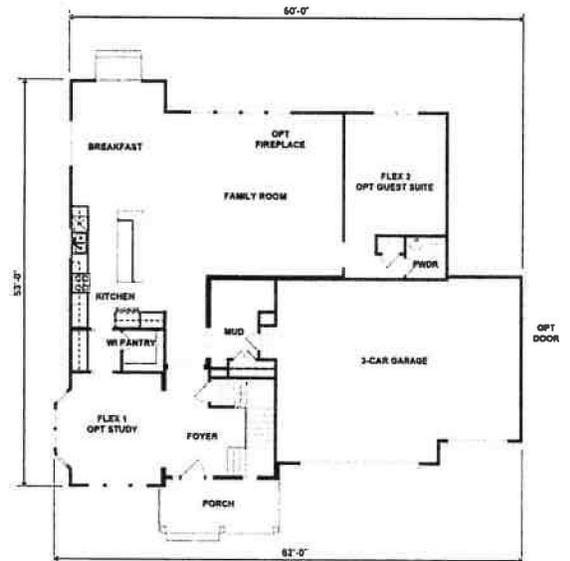
Luxury Bath



Jack / Jill Bath



Upper Floor Plan



Main Floor Plan

Plan Options

Stockton



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Color Collection 7

Lead Siding	Hardie - Park Lane Siding
Exterior Trim	1 1/2" x 3/4" Trim Siding
Dr. Gutters	M/I - Decorative
Down Spouts	M/I - Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Gutters	2 Aluminum Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - Triple Pane Elevator
Patio Door	60x80 Insulated - Triple Pane
Garage Door	Steel Insulated - Triple Pane Elevator
Windows	M/I - Low E Insulated 33 U-Value



Front Elevation

Stockton
Arts and Crafts


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Rear Elevation



Left Elevation



Right Elevation

Stockton
Arts and Crafts


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REAR YARD PLANT LIST- GOLF COURSE LOT

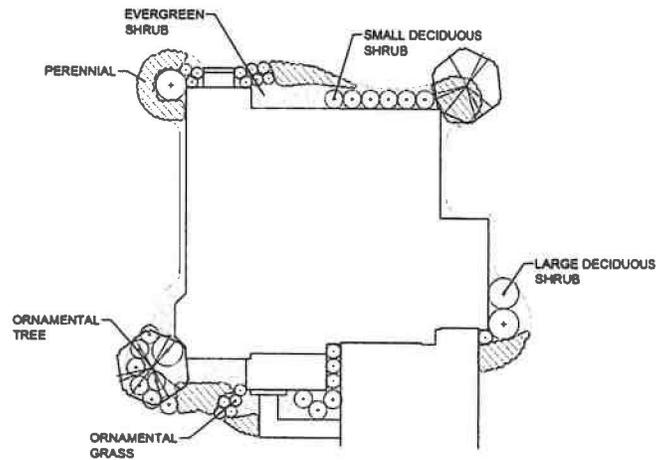
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWO DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[5]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWO DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[10]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKER'S LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWO DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWO DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[6]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[10]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKER'S LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Stockton

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Color Collection 7

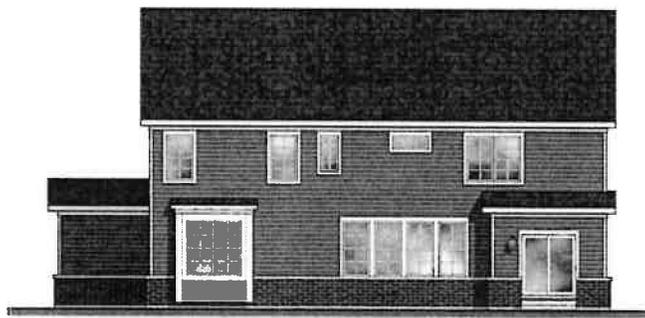
Roofing	Hardie - Park Lane Siding
Exterior Trim	LSI - Smart Trim 224
Chimney	LSI - Decorative
Shutters	LSI - Aluminum
Roofing	Laminated - Architectural Siding
Brick	Standard Modular
Gutters	2 Aluminum K Style
Down Spouts	2 x 3 Aluminum
Entry Door	Featuring Insulated 5-1/2 inch Elevation
Side Door	4-1/2 inch 500 w/ Transom
Garage Door	Steel Insulated 5-1/2 inch Elevation
Windows	Wyn Low E Insulated 11-1/2 inch



Front Elevation

Stockton
Arts and Crafts


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Rear Elevation



Left Elevation



Right Elevation

Stockton
Arts and Crafts


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Color Collection 1

Land Siding	Hardie - Park Lap Siding
Shake Siding	Hardie - Shake Siding
Exterior Trim	UP - Impertum 216
Shutters	Vinyl - Decorative
Soffits & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Front	Stained Glass
Stone	Edens Visions - Castled Machine Cut Veneer
Gutters	2 x 3 Aluminum
Deck Sposts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - Steel Elevator
Patio Door	60% IGDD w/ Transom
Garage Door	Steel Insulated - Steel Elevator
Windows	Vinyl - Low E Insulated 33 L-Value



Front Elevation

Stockton
Craftsman


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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 16

Lap Siding	Hardie® Plank Lap Siding
Vertical Siding	Hardie® Panel Vertical Siding
Exterior Trim	1/2" Smooth Trim Siding
Shutters	Vinyl Decorative
Soffit & Fascia	Vinyl Aluminum
Roofing	Low-Moisture Architectural Shingles
Stone	Essex® Veneer - Granite Machine Cut Veneer
Brick	Standard Modular
Gutters	2" Aluminum K-Style
Down Spouts	2" x 3" Aluminum
Entry Door	fiberglass Insulated - Styrene Elevator
Patio Door	48" x 50" x 1/2" Fiberglass
Garage Door	Steel Insulated - Styrene Elevator
Windows	Vinyl Low-E Insulated 33 L-Value



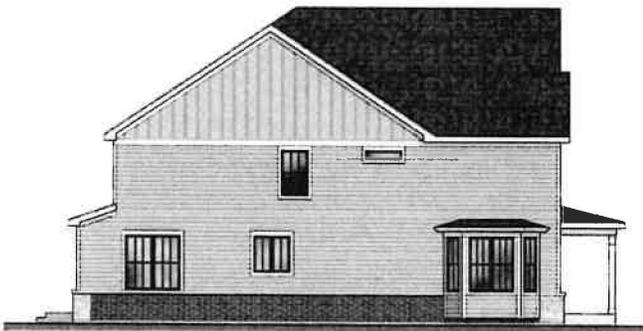
Front Elevation

Stockton
Low Country

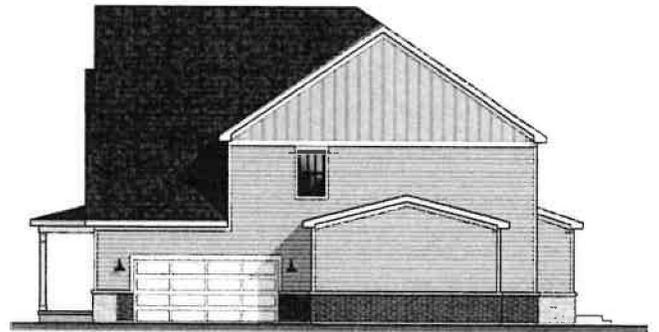

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Rear Elevation



Left Elevation



Right Elevation

Stockton
Low Country


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Color Collection 12

Land Siding	Hardie - Ply Sheetrock
Exterior Trim	16 - Langtry Side
Columns	16 - Decorative
Soffit & Fascia	16 - Aluminum
Roofing	Laminated - Architectural 30 year
Brick	Standard Modular
Gutters	1 - Aluminum Style
Down Spouts	2 - 3 Aluminum
Entry Door	Polycarbonate - Style - Steel Elevator
Back Door	6011 SGG w/ Transom
Garage Door	Steel Insulated - Style - Steel Elevator
Windows	16 - Low E Insulated 33 L-Value



Front Elevation

**Stockton
Manor**


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Rear Elevation



Left Elevation



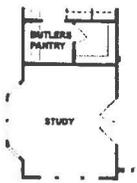
Right Elevation

Stockton
Manor



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Study w/ Butlers Pantry



Study



Guest Room



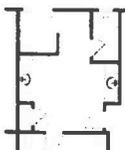
Bedroom 4 w/ Bath



Pocket Office



Bedroom 5



Walk-in Shower

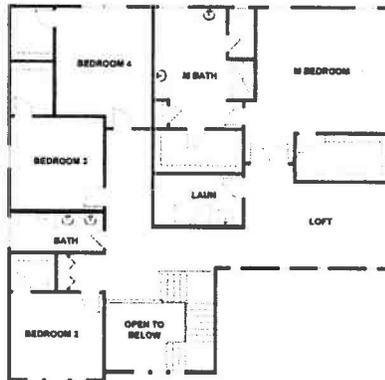


Luxury Bath

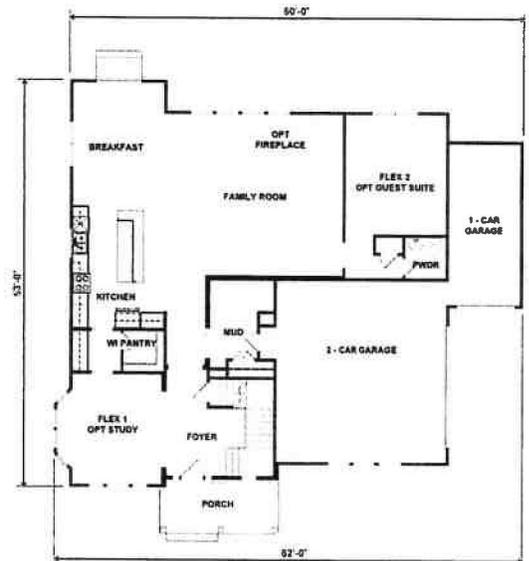


Jack / Jill Bath

Plan Options



Upper Floor Plan



Main Floor Plan

Stockton

Color Collection 7

Lead Siding	Hardie® - Parkside Siding
Exterior Trim	UP - Crown Trim Siding
Chimneys	XXI - Decorative
Garage & Patio	XXI - Aluminum
Railings	Laminated - Architectural Grade
Brick	Standard Brick
Gutters	1 - Aluminum Siding
Down Spouts	2 - 1 Aluminum
Entry Door	Feers Associated - Silver Elevator
Patio Door	201100 All Season
Garage Door	Steel Insulated - Silver Elevator
Windows	XXI - Low Insulated 33 Lvl. Glaze



Front Elevation

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Arts and Crafts


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Rear Elevation



Left Elevation



Right Elevation

Stockton
Arts and Crafts


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REAR YARD PLANT LIST- GOLF COURSE LOT

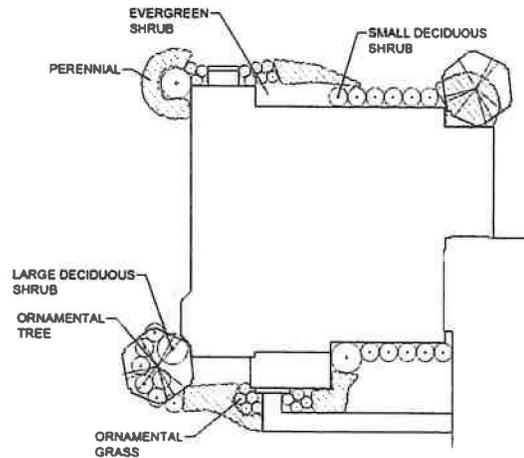
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (5' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLIANCHERRY DOGWOOD JAPANESE TREE LILAC EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWP DOGWOOD HYDRANGEA SPECIES* VIBURNUM SPECIES* DWARF KOREAN LILAC
[6]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWP DOGWOOD NINEBARK SPECIES ROSE SPECIES DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD KALLAY'S COMPACT JUMPER
[8]	ORNAMENTAL GRASSES (1" CAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS KARL FOERSTER GRASS BLUE OAT GRASS
[25]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES* WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (5' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLIANCHERRY DOGWOOD JAPANESE TREE LILAC EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWP DOGWOOD HYDRANGEA SPECIES* VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWP DOGWOOD NINEBARK SPECIES ROSE SPECIES DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD KALLAY'S COMPACT JUMPER
[8]	ORNAMENTAL GRASSES (1" CAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS KARL FOERSTER GRASS BLUE OAT GRASS
[25]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES* WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



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Color Collection 10

Land Siding	HardieB-Plank Lap Siding
Shake Siding	HardieS-Single Siding
Exterior Trim	UP-Imperial 2x4
Shutters	WV-Decorative
Soffit & Fascia	WV-1 Aluminum
Roofing	Laminated Asph/Festul Shingles
Brick	Standard Modular
Stone	Eden's Valdem - Oakfield Machine Cut Veneer
Gutters	2" Aluminum F-Style
Down Spouts	2" x 2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	WV-1 Low E Insulated 33 L-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 8

Lot Siding	Woods® - Park Lap Siding
Veranda Siding	Woods® - Park Veranda Siding
Exterior Trim	1 1/2" Linear Trim 614
Shutters	Trim - Decorative
Columns & Fascia	Trim - Aluminum
Roofing	Laminated - Architectural Shingles
Stone	Eden - Vaders - Oakleaf Machine Cut Veneer
Brick	Standard Modular
Gutters	5" Aluminum Style
Downspouts	2 x 3" Aluminum
Entry Door	Fiber Glass Insulated - 5 Freezer Elevator
Panel Door	6111 500 w/ Transom
Garage Door	Steel - Insulated - 5 Freezer Elevator
Windows	Trim - Low E Insulated 33 L-Value



Front Elevation

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English Country


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Rear Elevation



Left Elevation



Right Elevation

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English Country


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Color Collection 17

Land Siding	Hardie - Panel Lap Siding
Vertical Siding	Hardie - Panel Vertical Siding
Exterior Trim	UF - Impact Trim SIA
Shutters	YV - Descriptive
Soffit & Fascia	YV - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Masonry or
Stone	Edens Valders - Oakfield Machine Cut Veneer
Gutters	3 Aluminum Style
Down Spout	2 x 2 Aluminum
Entry Door	High Quality Insulated - Style per Elevation
Front Door	Custom - Insulated
Garage Door	Steel Insulated - Style per Elevation
Windows	YV - Low E Insulated 31.1 Value



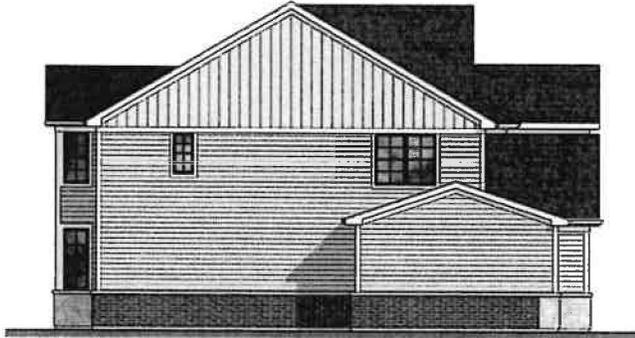
Front Elevation

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Urban Farmhouse


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Rear Elevation



Left Elevation



Right Elevation

Sumner
Urban Farmhouse

Color Collection 7

Ceiling	Hardie-Plank Lap Siding
Exterior Trim	1/2" - 1/4" Roman Bronze
Shutters	1/2" - 1/4" - Decorative
Garage Sillings	1/2" - 1/4" Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Columns	3" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Street Level Elevator
Back Door	48" x 50" w/ Transom
Garage Door	Steel Insulated - Street Level Elevator
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

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Prairie

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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 3

Roof Siding	Hardie - Park Lap Siding
Eaves/Term	LP - Smart Trim S14
Shutters	Kryl - Decorative
Trim & Fascia	Kryl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum Style
Door/Windows	2 x 3 Aluminum
Entry Door	Feeding Insulated - Street Levelator
Back Door	60x500 w/ Transom
Garage Door	Steel Insulated - Street Levelator
Windows	Vinyl - Low E Insulated 33 L-View



Front Elevation

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Traditional


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Rear Elevation



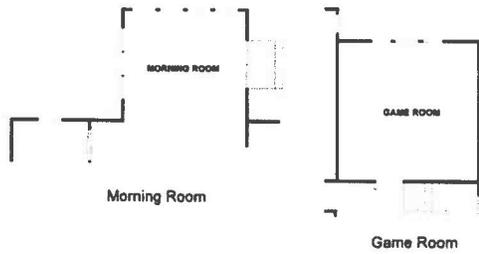
Left Elevation



Right Elevation

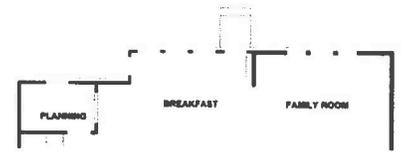
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Traditional


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Morning Room

Game Room



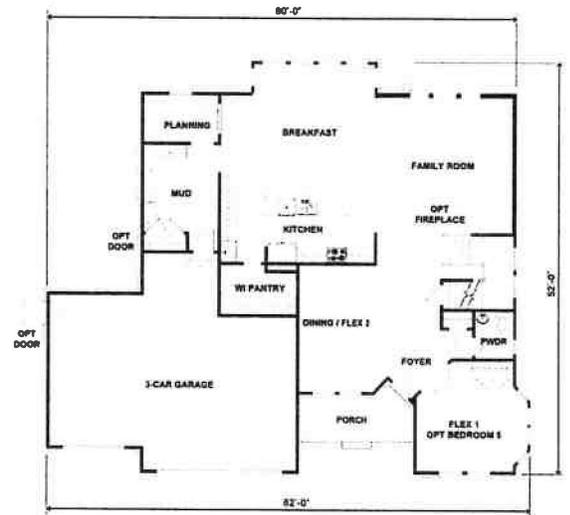
Extended Family Room



Plan Options



Upper Floor Plan



Main Floor Plan

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Color Collection 10

Ceiling	Hardie - Ply-Lok Ceiling
Stone Siding	Hardie - Stone Siding
Exterior Trim	UP - Impertive S4
Shutters	UP - Decorative
Soffit & Fascia	UP - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Essex Valders - Color Matched Machine Cut Veneer
Gutters	5 - Aluminum Style
Down Spout	2 - 1/2 - Aluminum
Entry Door	Polyspartan - Shaded - Style per Elevation
Front Door	UP - 100 - w/ Fiberglass
Garage Door	Steel Insulated - Style per Elevation
Windows	UP - Low E - Insulated - 33 L.V. - w/



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

Sumner Craftsman



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REAR YARD PLANT LIST- GOLF COURSE LOT

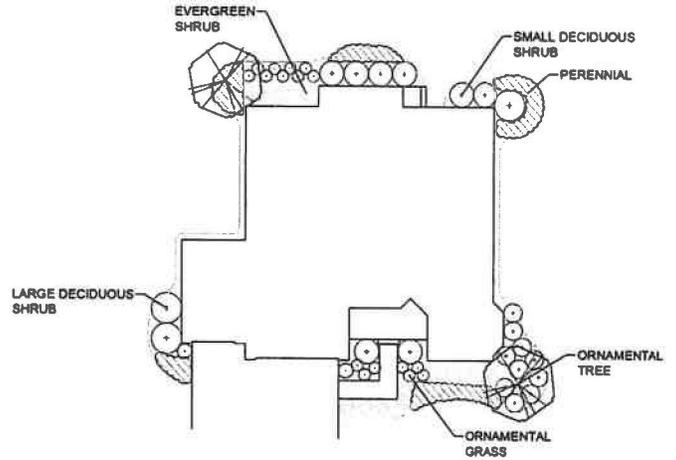
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (6' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELLIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[6]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* HINERBARK SPECIES LITTLE HENRY SWEETSPICE* ROSE SPECIES DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE DAT GRASS
[60]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKER'S LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (6' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELLIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* HINERBARK SPECIES LITTLE HENRY SWEETSPICE* ROSE SPECIES DARK HORSE WEIGELA
[4]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE DAT GRASS
[28]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKER'S LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



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Stanley

3334 - 3473 s.f.



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Color Collection 2

Ceiling	Harvest - Painted Ceiling
Shake Siding	Harvest - Single Siding
Exterior Trim	UP - Imperial 2 1/2
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Flooring	Laminated - Architectural Grade
Brick	Standard Brick
Stone	Eden's Vapors - Oakfield Machine Cut Veneer
Gutters	5 Aluminum Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - Street Elevation
Patio Door	60" x 80" Insulated
Garage Door	Steel Insulated - Street Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



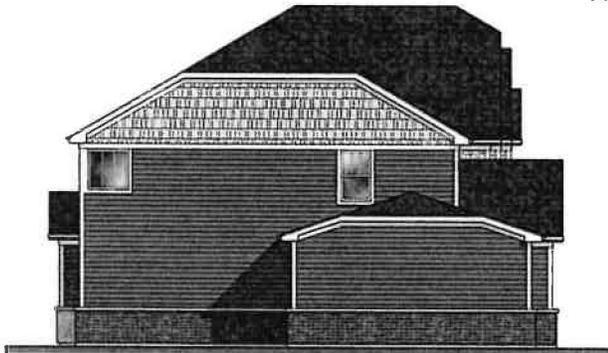
Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 6

Exterior Siding	Hardie® Panel Las Siding
Vertical Siding	Hardie® Panel Vertical Siding
Exterior Trim	UP SmartTrim® Siding
Shutters	UP® Decorative
Sills & Fascia	UP® Aluminum
Roofing	Laminated Architectural Shingles
Stone	Edens Masonry - Oakleaf Machine Cut Veneer
Brick	Standard Modular
Gutters	UP Aluminum Style
Down Spouts	UP Aluminum
Entry Door	Flamingo® Insulated Street Elevator
Front Door	UP® 100 W/ Transom
Garage Door	Steel Insulated Street Elevator
Windows	UP® Low E Insulated 33 L-Value



Front Elevation

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English Country


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Rear Elevation



Left Elevation



Right Elevation

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English Country


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Color Collection 7

Landings	Hardie - Plank Lap Siding
Eaves Trim	1 1/2" Cedar Trim S4S
Shutters	Vinyl Decorative
Doors & Panels	Vinyl Aluminum
Fascia	Laminated - Architectural Siding
Brick	Standard Mason
Outlets	2 x 4 Aluminum
Down Spouts	2 x 3 Aluminum
Entry Door	FiberGlast Ins. Area - 5 Step Elevator
Ramp Door	600 1000 w/ Fiberglass
Garage Door	Steel Ins. w/ 2-Step Elevator
Windows	Vinyl - Low E - Insulated 33 U-Value



Front Elevation

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Prairie


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Rear Elevation



Left Elevation



Right Elevation

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Prairie


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Color Collection 3

Roof Siding	Hardie - Park Lap Siding
Exterior Trim	1/2" Composite Siding
Shutters	1/2" - Decorative
Boards & Batts	1/2" Aluminum
Roofing	Standard - Architectural Shingles
Brick	Standard Modular
Gutters	2" Aluminum Style
Down Spout	2 x 3 Aluminum
Entry Door	40kg Insulated - Style 6 Elevator
Patio Door	1011 500 w/ Transom
Garage Door	Steel Insulated - Style 6 Elevator
Windows	Vinyl - Low E Enclosed 33 L/Value



Front Elevation

Stanley
Traditional


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Rear Elevation



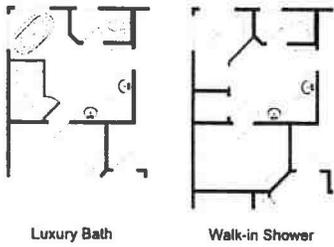
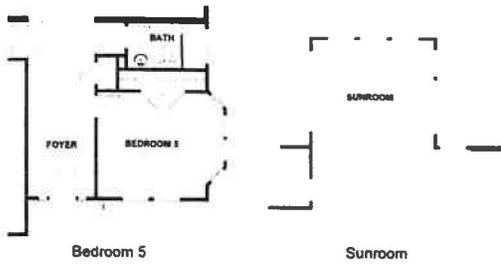
Left Elevation



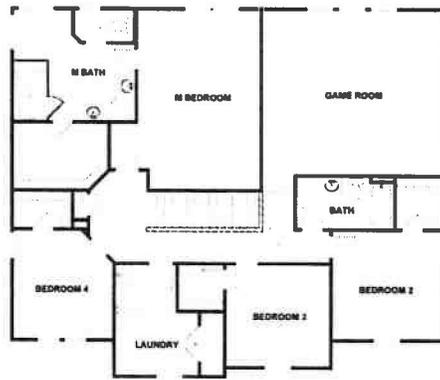
Right Elevation

Stanley
Traditional

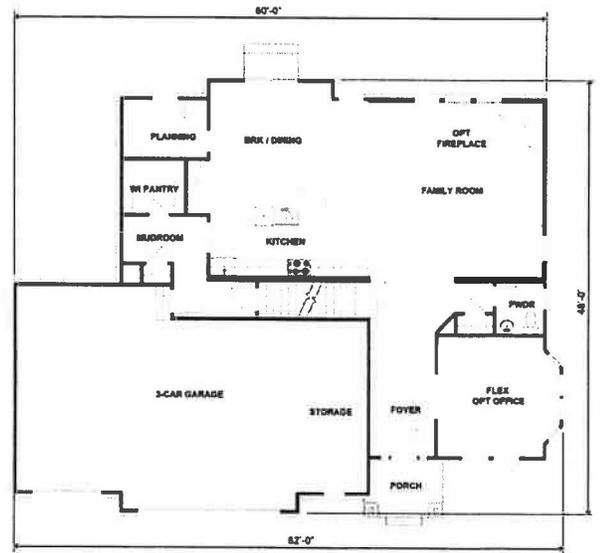

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Plan Options



Upper Floor Plan



Main Floor Plan

Stanley

Color Collection 2

Cap Siding	Hardie® Plank Lap Siding
Shake Siding	Hardie® Shake Siding
Exterior Trim	UP® Composite Siding
Gutters	Vinyl Decorative
Soffit & Fascia	Vinyl Aluminum
Roofing	Lowes®ggl Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valleys® Granite Finish on Cultured Stone
Gutters	5 Aluminum K Style
Door Sights	2 x 2 Aluminum
Entry Door	4 Core Insulated 3 1/2" per Elevation
Patio Door	4 Core Insulated 3 1/2" per Elevation
Garage Door	Steel Insulated 1 1/2" per Elevation
Windows	Vinyl Low E Insulated 33 Lvl Value



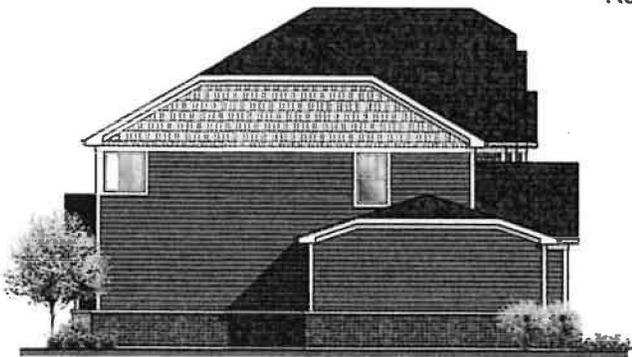
Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

**Stanley
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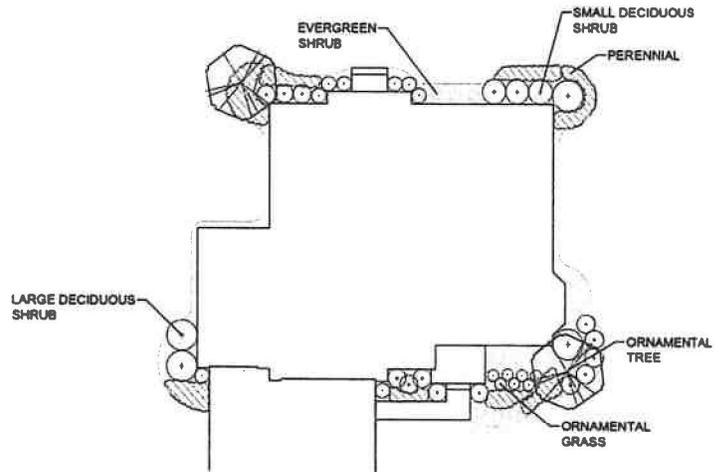

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REAR YARD PLANT LIST- GOLF COURSE LOT

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[1]	LARGE SHRUBS (30" TALL / 5 GAL) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[5]	SMALL SHRUBS (18" TALL / 5 GAL) ARCTIC FIRE REDTWIG DOGWOOD HIBERNIA SPECIES ROSE SPECIES
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL) DENSE YEW GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL) PRAIRIE DROPSEED FLAMING MOOR GRASS
[10]	PERENNIALS (1 GAL) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS
	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
	VIBURNUM SPECIES* DWARF KOREAN LILAC
	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPINE* DARK HORSE WEIGELA
	KALLAY'S COMPACT JUNIPER
	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[4]	LARGE SHRUBS (30" TALL / 5 GAL) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[10]	SMALL SHRUBS (18" TALL / 5 GAL) ARCTIC FIRE REDTWIG DOGWOOD HIBERNIA SPECIES ROSE SPECIES
[6]	EVERGREEN SHRUBS (24" WIDE / 5 GAL) DENSE YEW GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL) PRAIRIE DROPSEED FLAMING MOOR GRASS
[10]	PERENNIALS (1 GAL) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS
	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
	VIBURNUM SPECIES* DWARF KOREAN LILAC
	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPINE* DARK HORSE WEIGELA
	KALLAY'S COMPACT JUNIPER
	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES



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Color Collection 2

Lac Stone	Hardie - Fiber Cement Siding
Shale Stone	Hardie - Shake Siding
Emerald Green	18" Smart Trim Siding
Shutter	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Ekena Veneer - Oak Field Machine Cut Veneer
Gutters	1" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	fiberglass Insulated - Style per Elevation
Patio Door	60" x 80" Insulated - Style per Elevation
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 1/2" Vase



Front Elevation

**Stanley
Craftsman**

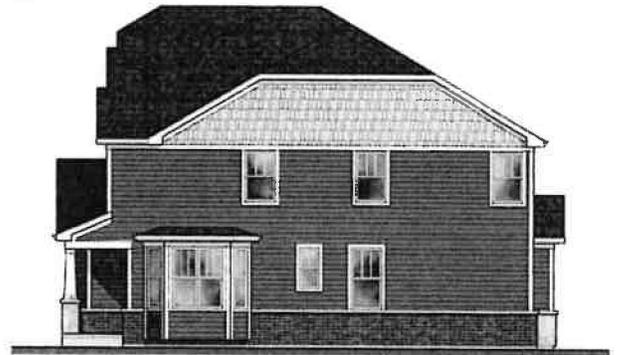

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Rear Elevation



Left Elevation



Right Elevation

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Craftsman**


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Color Collection 6

Land Siding	Hardie® Plank Lap Siding
Vertical Siding	Hardie® Panel Vertical Siding
Exterior Trim	SP-Imperial Trim
Shutters	Vinyl-Decorative
Soffit & Fascia	Vinyl-Aluminum
Roofing	Laminated - Architectural Shingles
Stone	Edina Valleys - Oakfield Machine Cut Veneer
Block	Standard Kasloir
Columns	2" Aluminum Style
Door Sills	2" x 3" Aluminum
Entry Door	fiberglass Insulated 5-Panel Elevator
Front Door	1501 ESG w/ Transom
Garage Door	Steel Insulated 5-Panel Elevator
Windows	Vinyl- Low E Insulated 33 L-Value



Front Elevation

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English Country


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Rear Elevation



Left Elevation



Right Elevation

Stanley
English Country

Color Collection 7

Lead Siding	Hardie - Park Lane Siding
Exterior Trim	1 1/2" Smartform Siding
Shutters	1 1/2" Decorative
Soffit & Fascia	1/2" x 1" Aluminum
Roofing	Laminated Architectural Shingles
Brick	Storage Modular
Columns	2" x 4" Aluminum
Door Sill	2" x 4" Aluminum
Entry Door	48" x 80" Insulated - Five Panel Elevator
Garage Door	12' x 16' 0" Insulated
Windows	1 1/2" - Low E Insulated 11:1 Vase



Front Elevation

**Stanley
Prairie**


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Rear Elevation



Left Elevation



Right Elevation

Stanley
Prairie



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Color Collection 3

Land Siding	HardieB-Plank Lap Siding
Exterior Trim	UP - Smart Trim Siding
Decks	Vinyl - Decorative
Garff & Folds	Vinyl / Aluminum
Roofing	Laminated Architectural Shingles
Shutters	Decorative Mosaic
Doors	2 - Aluminum Style
Door Screens	1 - 3 Aluminum
Entry Door	Fiberglass Insulated - 5 1/2" per Elevation
Patio Door	1000 SDD w/ Transom
Garage Door	Steel Insulated - 5 1/2" per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

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Traditional


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Rear Elevation



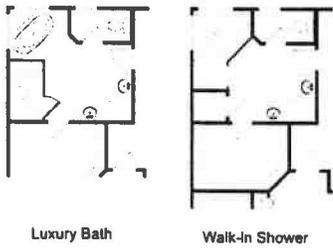
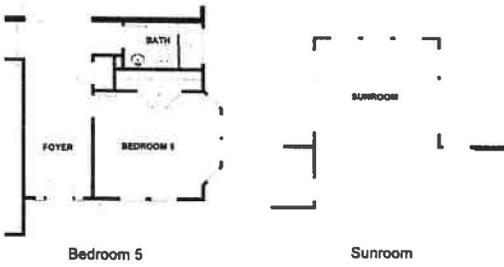
Left Elevation



Right Elevation

Stanley
Traditional

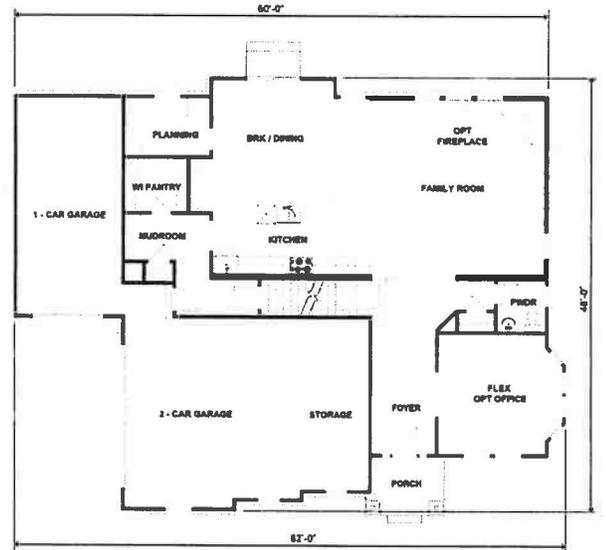

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Plan Options



Upper Floor Plan



Main Floor Plan

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Color Collection 2

Lead Siding	Hardie® - Park Lap Siding
Shake Siding	Hardie® - Single Lap Siding
Exterior Trim	UP - Decorative Trim
Shutters	Vinyl - Decorative
Shells & Fascia	Vinyl - Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Brick
Stone	Ekena Valsen - Oakleaf Machine Cut Veneer
Columns	2 - Aluminum
Door Scaut	2 - 3 Aluminum
Entry Door	Fiberglass Insulated - 5/8" per Elevation
Patio Door	2015 ICC - 41/Transom
Garage Door	Steel Insulated - 5/8" per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



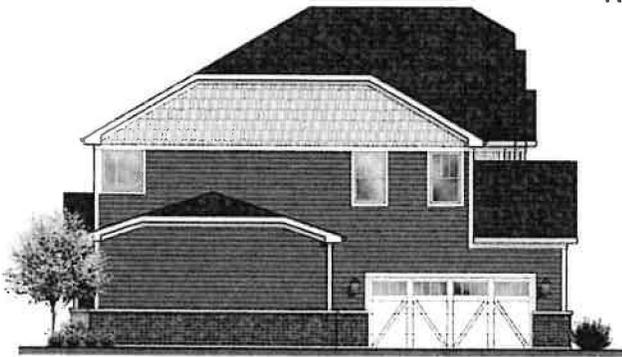
Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Craftsman**

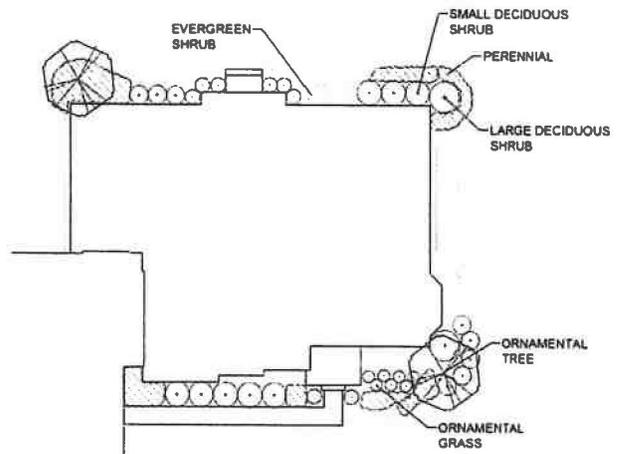

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REAR YARD PLANT LIST- GOLF COURSE LOT

QTY	PLANT TYPE
(1)	ORNAMENTAL TREES (1' CLUMP FORM OR 2" CAL TREE FORM) CRABAPPLE SPECIES CORNELLIANCHERRY DOGWOOD JAPANESE TREE LILAC
(1)	LARGE SHRUBS (30" TALL / 5 GAL) BAILEY'S REDTWO DOGWOOD HYDRANGEA SPECIES*
(5)	SMALL SHRUBS (18" TALL / 5 GAL) ARCTIC FINE REDTWO DOGWOOD HINEBARK SPECIES ROSE SPECIES
(3)	EVERGREEN SHRUBS (24" WIDE / 5 GAL) DENSE YEW* GREEN VELVET BOXWOOD
(9)	ORNAMENTAL GRASSES (1 GAL) PRAIRIE DROPSSEED FLAMING MOOR GRASS
(10)	PERENNIALS (1 GAL) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
(1)	ORNAMENTAL TREES (1' CLUMP FORM OR 2" CAL TREE FORM) CRABAPPLE SPECIES CORNELLIANCHERRY DOGWOOD JAPANESE TREE LILAC
(4)	LARGE SHRUBS (30" TALL / 5 GAL) BAILEY'S REDTWO DOGWOOD HYDRANGEA SPECIES*
(10)	SMALL SHRUBS (18" TALL / 5 GAL) ARCTIC FINE REDTWO DOGWOOD HINEBARK SPECIES ROSE SPECIES
(6)	EVERGREEN SHRUBS (24" WIDE / 5 GAL) DENSE YEW* GREEN VELVET BOXWOOD
(9)	ORNAMENTAL GRASSES (1 GAL) PRAIRIE DROPSSEED FLAMING MOOR GRASS
(25)	PERENNIALS (1 GAL) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



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Lyndale

3360 - 3505 s.f.

Color Collection 6

Can Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Park Vertical Siding
Shake Siding	Hardie® - Shake Siding
Exterior Trim	UP - SmartTrim® EYE
Shutters	UP - Decorative
Soffits & Fascia	UP - 2x4 Composite
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens® Veneer - Oakleaf Machine Cut Veneer
Gutters	2" x 3" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberon Insulated - Style per Elevation
Front Door	6x6 SGC w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 32 U-Value



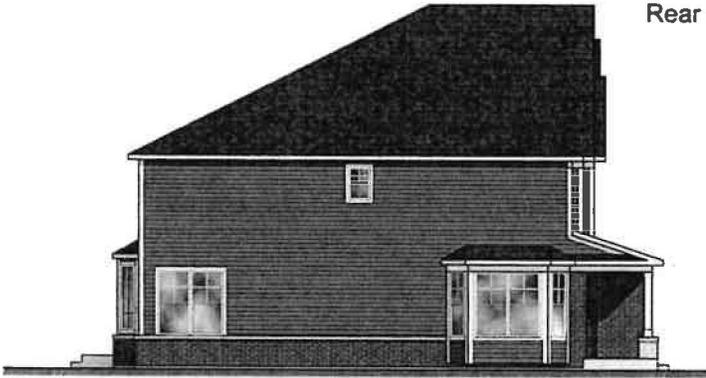
Front Elevation

Lyndale
Artisan


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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 7.1

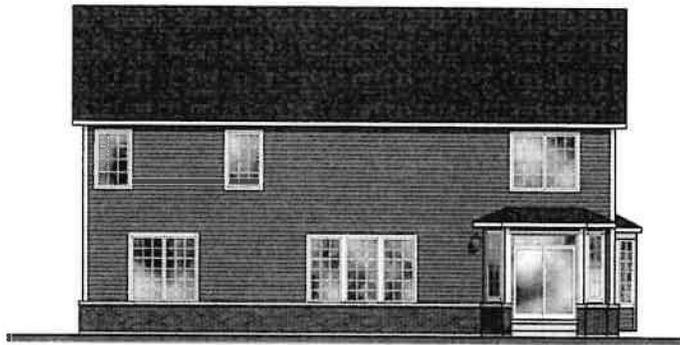
Lot Siding	Hardie - Plank Lap Siding
Vertical Siding	Hardie - Panel Vertical Siding
Exterior Trim	1 1/2" Roman Trim Siding
Shutters	White Decorative
Soffit & Fascia	White Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard/Local
Columns	5 Aluminum Siding
Down Spout	2 x 2 Aluminum
Entry Door	Feenpas Insulated Steel w/ Elevator
Porch Door	42x100 w/ Transom
Garage Door	Steel Insulated Steel w/ Elevator
Windows	White Low E Insulated 20/10 Value



Front Elevation

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Colonial Revival


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Rear Elevation



Left Elevation

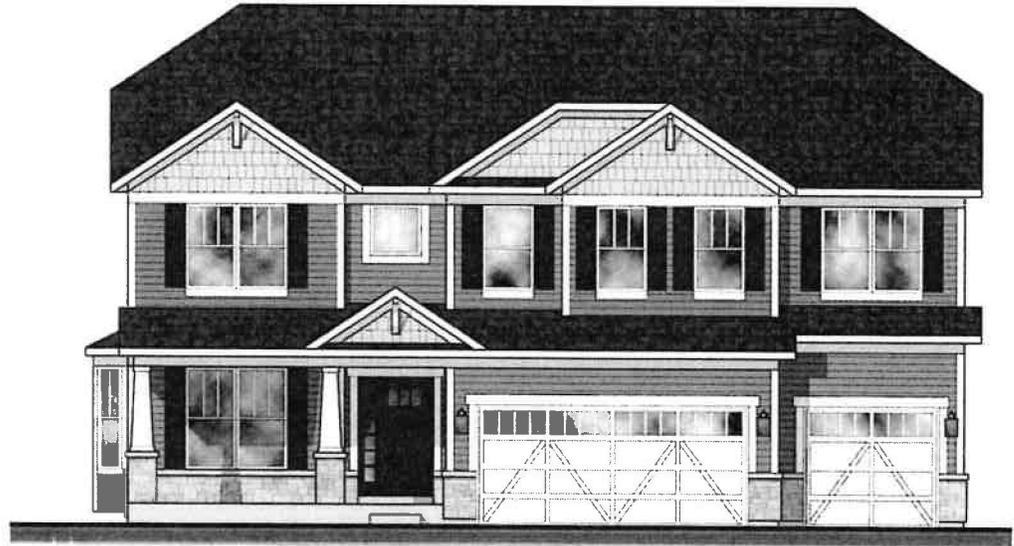


Right Elevation

Lyndale
Colonial Revival

Color Collection 8

Ceiling	Hardie® Panel Ceiling
Exterior Siding	Hardie® Panel Vertical Siding
Shutters	1/2" SmartView™ S/S
Trim & Fascia	1 1/2" Decorative
Roofing	1 1/2" Aluminum
Brick	Laminated - Arch Resting Sipes
Stone	Standard Modular
Gutters	Eden's Valdes - Oakfield Machine Cut Veneer
Down Spouts	2" x 3" Aluminum
Entry Door	FiberGlas Insulated - Style 600 Elevator
Back Door	4018 SGG w/ Transom
Garage Door	Decor Insulated - Style per Elevator
Windows	1 1/2" Low E Insulated 33 L-Frame



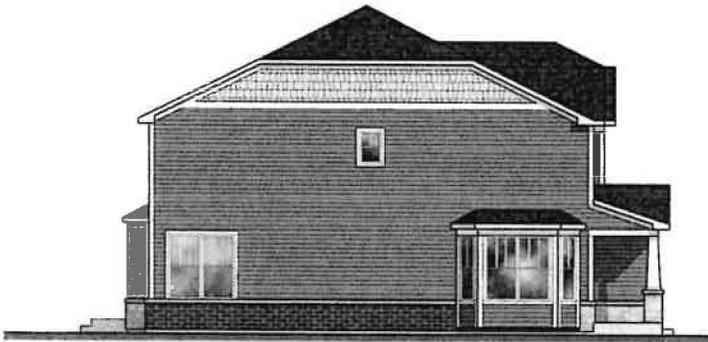
Front Elevation

Lyndale
Craftsman

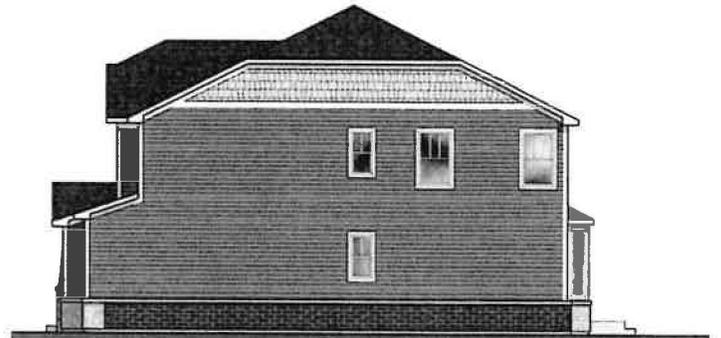

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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 16 FH

Landings	Hardie - Panel Lap Siding
Vertical Siding	Hardie - Panel Vertical Siding
Exterior Trim	UP - Image Trim 2x4
Shutters	UP - Decorative
Soffit & Fascia	UP - Aluminum
Roofing	Laminated Architectural Shingles
Deck	Standard Mahogany
Stone	Essex Vignette - Oakleaf Machine Cut Veneer
Gutters	2" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	Reorgan Insulated - 51/2" Core Elevator
Patio Door	600 IGD w/ Transom
Garage Door	Steel Insulated - 51/2" Core Elevator
Windows	UP - Low E Insulated 33 L-Value



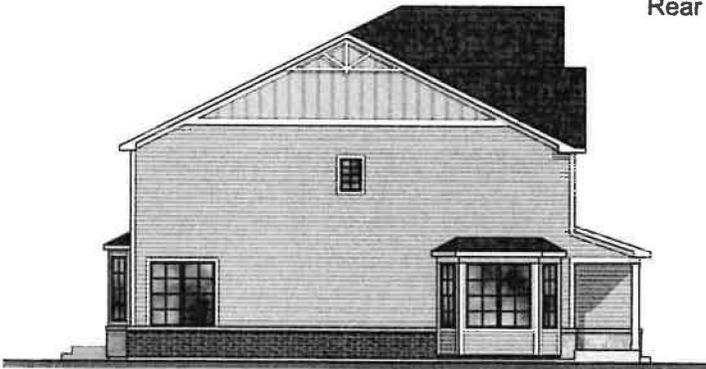
Front Elevation

Lyndale
Urban Farmhouse

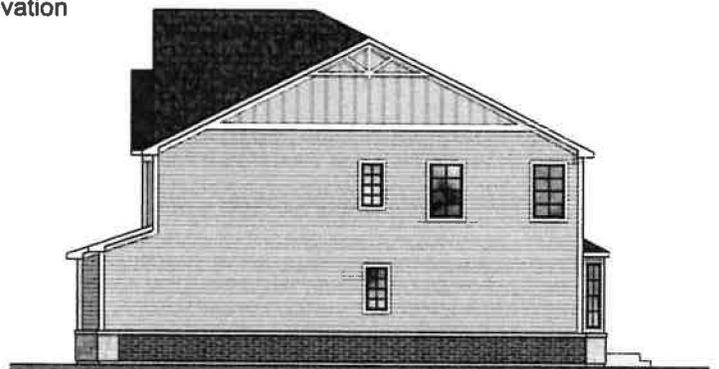

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Rear Elevation

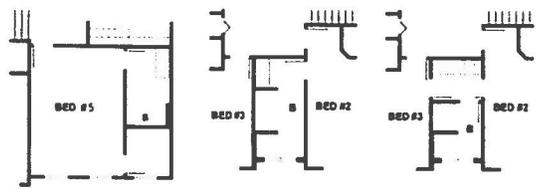


Left Elevation



Right Elevation

Lyndale
Urban Farmhouse



Bed 5

Bed 2 w/ Bath

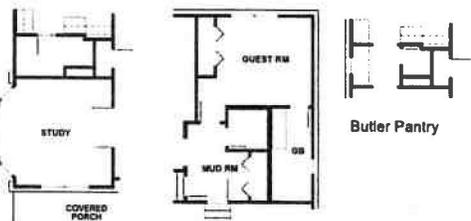
Jack/Jill Bath



Morning Rm

Luxury Bath

Walk-in Shower

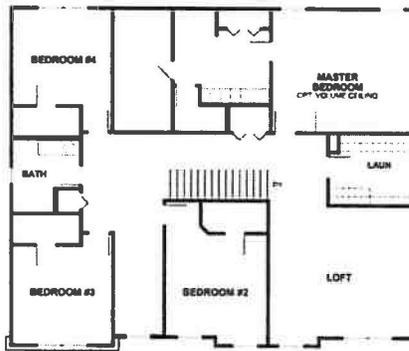


Study

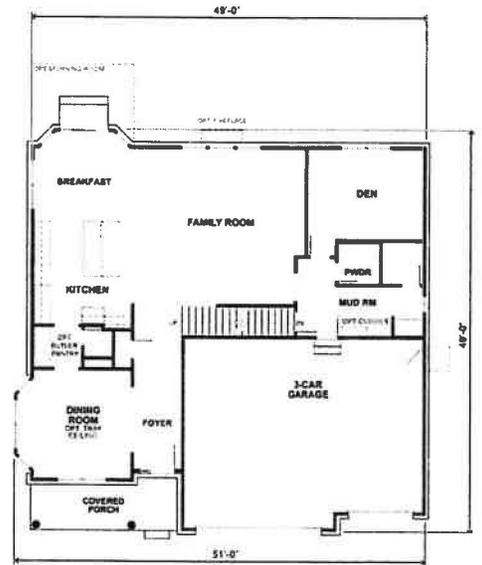
Guest Room

Butler Pantry

Plan Options



Upper Floor Plan



Main Floor Plan

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Color Collection 6

Ceiling	Hardie - Plank Lap Siding
Vertical Siding	Hardie - Plank Vertical Siding
Shake Siding	Hardie - Shake Siding
Exterior Trim	1 1/2" Smooth Trim
Shutters	1 1/2" Decorative
Columns & Posts	1 1/2" Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Stone	Edens Madens - Oakleaf Machine Cut Veneer
Gutters	3" Aluminum Style
Down Spouts	2 x 3" Aluminum
Entry Door	Rearglass Insulated - Five Panel Elevator
Front Door	2 1/2" 100% Fiberglass
Garage Door	Steel Insulated - Five Panel Elevator
Windows	1 1/2" Low E Insulated 33 L-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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REAR YARD PLANT LIST- GOLF COURSE LOT

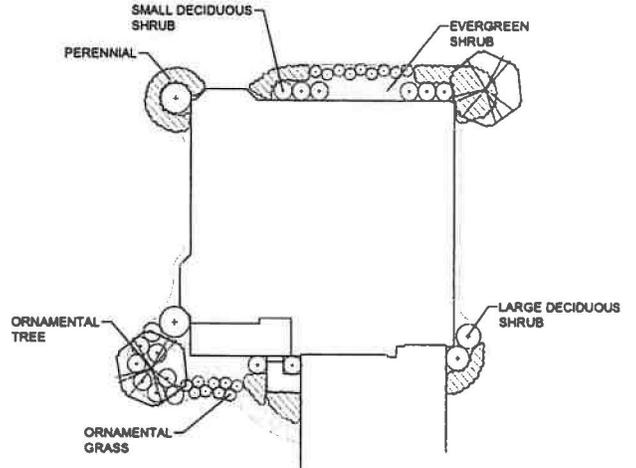
QTY	PLANT TYPE
(1)	ORNAMENTAL TREES (6' CLUMP FORM OR 2" GAL TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
(1)	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWO DOGWOOD HYDRANGEA SPECIES*
(8)	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWO DOGWOOD NINEBARK SPECIES ROSE SPECIES
(2)	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
(7)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED FLAMING MOOR GRASS
(40)	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA VIBURNUM SPECIES* DWARF KOREAN LILAC DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA FALLAY'S COMPACT JUNIPER KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HELICHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
(1)	ORNAMENTAL TREES (6' CLUMP FORM OR 2" GAL TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
(4)	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWO DOGWOOD HYDRANGEA SPECIES*
(10)	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWO DOGWOOD NINEBARK SPECIES ROSE SPECIES
(8)	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
(7)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED FLAMING MOOR GRASS
(24)	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA VIBURNUM SPECIES* DWARF KOREAN LILAC DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA KALLAY'S COMPACT JUNIPER KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HELICHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



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Hudson

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Color Collection 18

Land Siding	Hardie - Plym Loe Siding
Vertical Siding	Hardie - Plym Vertical Siding
Exterior Trim	UP - Smartform Siding
Shutters	Vinyl - Decorative
Shims & Fasia	Vinyl - Aluminum
Roofing	Laminated / Architectural Shingles
Brick	Standard Modular
Stone	Ekena Veneers - Oak or Maple Cut Veneer
Gutters	2 x 2 Aluminum
Down Spout	2 x 2 Aluminum
Entry Door	fiberglass Insulated - 57 Panel Elevator
Front Door	Steel - 100 w/ Transom
Garage Door	Steel - Insulated - 57 Panel Elevator
Windows	Vinyl - Low E Insulated - 33 L-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 7

Landing	HardieB-Plank Landing
Exterior Trim	18 SmartTrim-016
Shutters	1914 Decorative
Soffit & Fascia	1914 Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Gutters	2 Aluminum Style
Down Spout	2 Aluminum
Entry Door	Featuring Insulated Triple Glazing
Front Door	1518 600 w/ Transom
Garage Door	Steel Insulated Dryden Elevator
Windows	1914 Low E Insulated 33 L-Value



Front Elevation

Hudson
Colonial Revival

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Rear Elevation



Left Elevation



Right Elevation

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Colonial Revival



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Color Collection 2.1

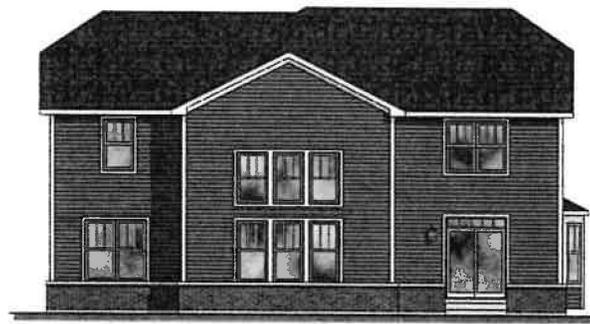
Ceiling	Hardie - Ply Lap Siding
Shale Siding	Hardie - Shingle Siding
Exterior Trim	1/2" SmartForm SIA
Shutters	Vinyl Decorative
Shutters & Railings	Vinyl Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Essex Vadem - Oakfield Machine Cut Veneer
Gutters	1" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	fiberglass Insulated - 57 lbs per Elevator
Patio Door	100 SGG w/ Transom
Garage Door	Steel Insulated - 57 lbs per Elevator
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

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Craftsman


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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 17 FH

Case Siding	HardieB - Park Lac Siding
Vertical Siding	HardieB - Park Vertical Siding
Exterior Trim	UP - Dimensional Siding
Shutters	UP - Decorative
Columns & Fascia	UP - Aluminum
Roofing	Composite - Architectural Shingles
Deck	Standard - Composite
Stone	Eden - Volcanic - Granite & Marble Cut Veneer
Gutters	UP - Aluminum Style
Down Spouts	UP - Aluminum
Entry Door	FiberGloss Insulated - Style per Elevation
Patio Door	UP - SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	UP - Low E Insulated 33 LxV6



Front Elevation

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Urban Farmhouse


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Rear Elevation



Left Elevation

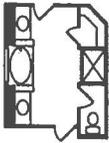


Right Elevation

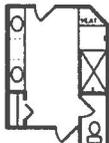
Hudson
Urban Farmhouse



In-law Suite



Luxury Bath



Walk-in Shower



Bonus Room / Bedroom 5

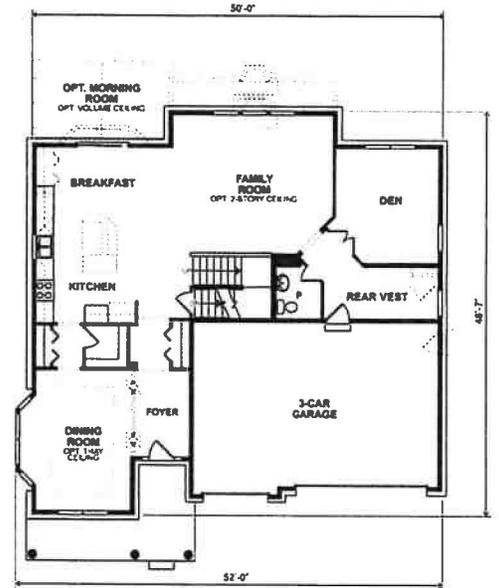


Jack / Jill Bath

Plan Options



Upper Floor Plan



Main Floor Plan

Hudson



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Color Collection 18

Lead Siding	Hardie®-Plank Lead Siding
Vertical Siding	Hardie®-Plank Vertical Siding
Exterior Trim	UP-3/4" Smooth Trim
Shutters	UP-1" Decorative
Soffit & Fascia	UP-1/2" Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Valdes - Coffee Machine Cut Veneer
Gutters	5" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	Polycarbonate Insulated - Style per Elevation
Front Door	Polycarbonate Insulated - Style per Elevation
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl Low E Insulated 33 LRV Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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REAR YARD PLANT LIST- GOLF COURSE LOT

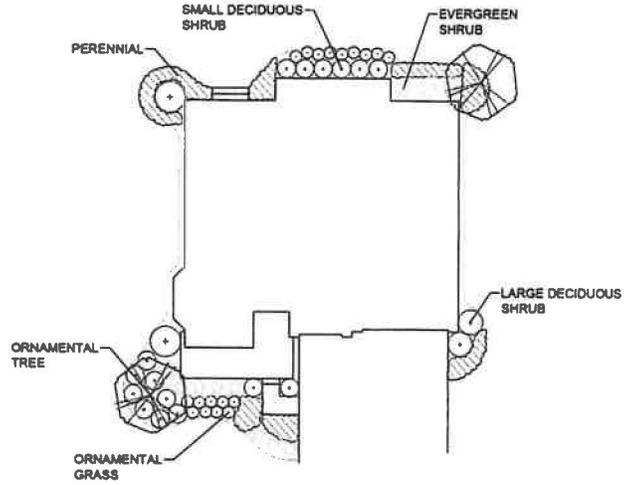
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[1]	LARGE SHRUBS (30" TALL / 3 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[4]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD HONEYBARK SPECIES ROSE SPECIES
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
[2]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
[60]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[4]	LARGE SHRUBS (30" TALL / 3 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD HONEYBARK SPECIES ROSE SPECIES
[4]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
[2]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
[24]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



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Hudson
(Side Load Garage)
3163 - 3831 s.f.

Color Collection 18

Lap Siding	Marble Park Lap Siding
Vertical Siding	Marble Park Vertical Siding
Exterior Trim	LP - Smart Trim S/S
Shutters	Vinyl - Decorative
Shells & Fascia	Vinyl - Aluminum
Roofing	Lightweight Architectural Shingles
Brick	Standard Brick
Stone	Essex Valley - Oakfield Machine Cut Veneer
Gutters	5" Aluminum Style
Down Spout	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 5 Year Warranty
Panel Door	60" x 100" Fiberglass
Garage Door	Steel Insulated - 5 Year Warranty
Windows	Vinyl - Low E Insulated - 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 7

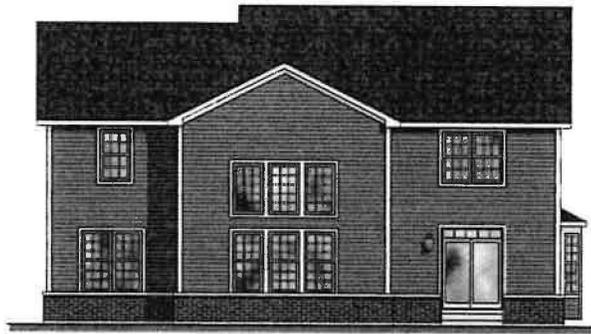
Roofing	Hardie - Ply Lap Siding
Exterior Trim	1 1/2" x 3/4" Pine S4S
Shutters	1 1/2" x 3/4" Decorative
Soffit & Fascia	1 1/2" x 3/4" Aluminum
Footing	Laminated - Architectural Grades
Brick	Standard Modular
Shutters	2" x 3" Aluminum
Down Spout	2" x 3" Aluminum
Entry Door	Fiberglass, 6 Panel - 31" x 80" Elevator
Front Door	6111 100% Fiberglass
Garage Door	Steel Insulated - 15' x 7' Elevator
Windows	1 1/2" x 3/4" Fiberglass 11.5" Vase



Front Elevation

Hudson
Colonial Revival


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Rear Elevation



Left Elevation



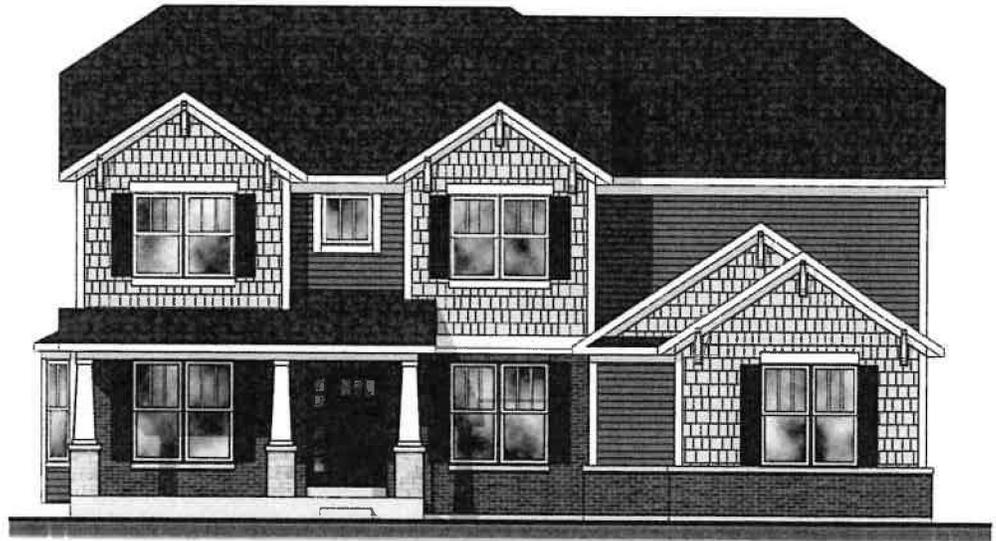
Right Elevation

Hudson
Colonial Revival


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Color Collection 2.1

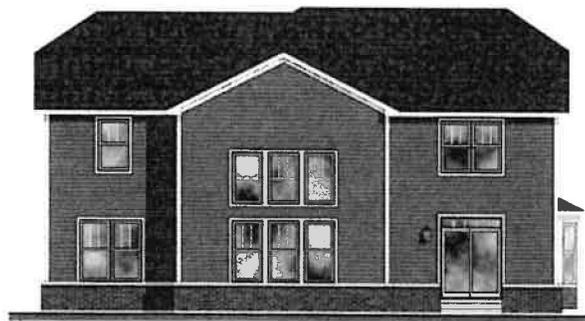
Ceiling	White - Crown Lap Siding
Shake Siding	Hardie - Single Siding
Exterior Trim	UK - Smartform 614
Shutters	Vinyl - Decorative
Columns & Railings	Vinyl - Architectural
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Valdes - Onyx Machine Cut Veneer
Gutters	2 Aluminum Style
Down Spouts	2 x 3 Aluminum
Entry Door	fiberglass Insulated - Sveder Elevator
Front Door	1211 100 w/ Transom
Garage Door	Steel Insulated - Sveder Elevator
Windows	Vinyl - Low E Insulated 33 Lvl. Vg



Front Elevation

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Craftsman


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Rear Elevation



Left Elevation



Right Elevation

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Craftsman



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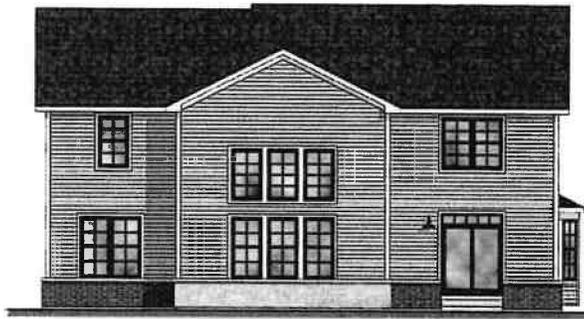
Color Collection 17 FH

Cap Siding	Hardell - Park Lane Siding
Vertical Siding	Hardell - Park Lane Siding
Exterior Trim	LF - Maple Trim 614
Shutters	Vinyl - Decorative
Doors & Casals	Vinyl - Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Stone	Eder's Vaden - Oakleaf/Moore's Cut/Veneer
Gutters	2" x 3" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	Feenbergs Insulated - 57x26x6 Elevator
Patio Door	52x56GQ w/Transom
Garage Door	Steel - Insulated - 8'x7' per Elevation
Windows	Vinyl - Low E Insulated 33 Lvl. Arg



Front Elevation

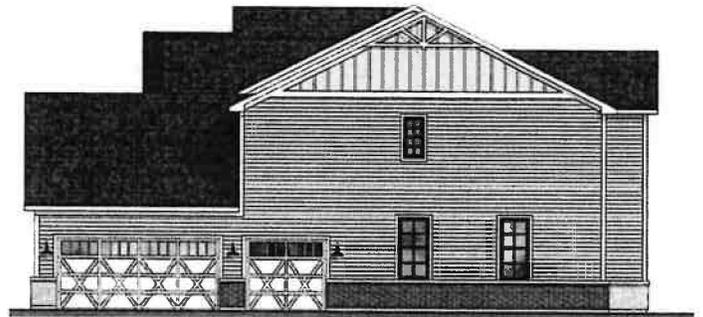
Hudson
Urban Farmhouse



Rear Elevation



Left Elevation

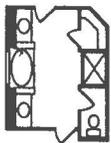


Right Elevation

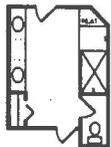
Hudson
Urban Farmhouse



In-law Suite



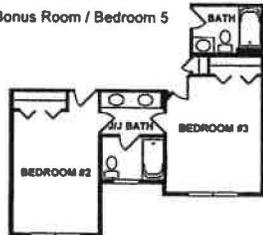
Luxury Bath



Walk-in Shower



Bonus Room / Bedroom 5

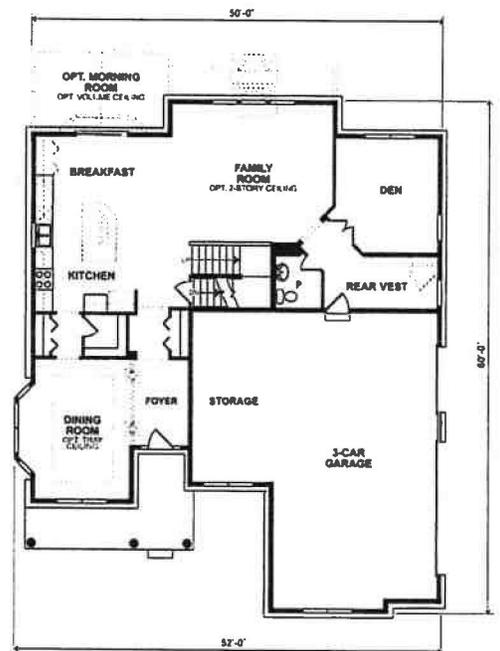


Jack / Jill Bath

Plan Options



Upper Floor Plan



Main Floor Plan

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Color Collection 18

Cab. D. Inp	Hardie - Fine Line Siding
Exterior Siding	Hardie - Fine Vertical Siding
Exterior Trim	CR - Crisp Trim Siding
Shutters	CR - Crisp Trim Siding
Shutters & Panels	CR - Crisp Trim Siding
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Vanders - Oakfield Machine Cut Veneer
Columns	2 - Aluminum Style
Deck Sposts	2 - 3 - Aluminum
Entry Door	Fiberglass Insulated - Style and Elevator
Back Door	60" x 80" w/ Fiberglass
Garage Door	Steel Ins. Shop - Style and Elevator
Windows	Wynetic Insulated 33 LRV



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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REAR YARD PLANT LIST- GOLF COURSE LOT

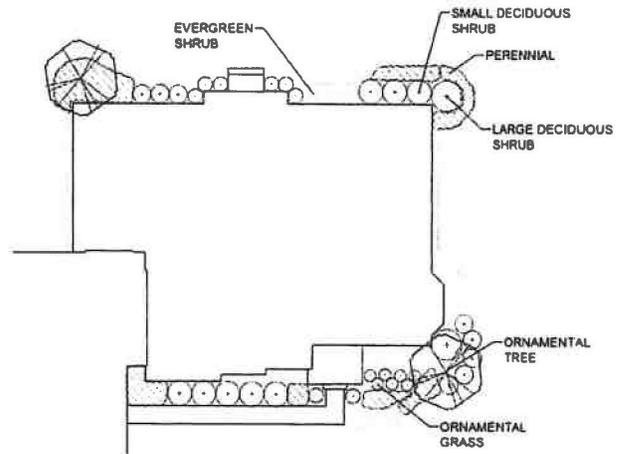
QTY	PLANT TYPE
(1)	ORNAMENTAL TREES (5' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLIANCHERRY DOGWOOD JAPANESE TREE LILAC EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
(1)	LARGE SHRUBS (20" TALL / 5 GAL.) BAILEY'S REDTWO DOGWOOD HYDRANGEA SPECIES* VIBURNUM SPECIES* DWARF KOREAN LILAC
(6)	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWO DOGWOOD NINEBARK SPECIES ROSE SPECIES DWARF FOTHERGILLA* LITTLE HENRY SWEETSPHIRE* DARK HORSE WEIGELA
(3)	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD KALLAY'S COMPACT JUNIPER
(9)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSÉED FLAMING WOOD GRASS KARL FOERSTER GRASS BLUE OAT GRASS
(10)	PERENNIALS (1 GAL.) DAISY SPECIES BLACK EYED SUSAN HOSTA SPECIES* WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
(1)	ORNAMENTAL TREES (5' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLIANCHERRY DOGWOOD JAPANESE TREE LILAC EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
(4)	LARGE SHRUBS (20" TALL / 5 GAL.) BAILEY'S REDTWO DOGWOOD HYDRANGEA SPECIES* VIBURNUM SPECIES* DWARF KOREAN LILAC
(10)	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWO DOGWOOD NINEBARK SPECIES ROSE SPECIES DWARF FOTHERGILLA* LITTLE HENRY SWEETSPHIRE* DARK HORSE WEIGELA
(8)	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD KALLAY'S COMPACT JUNIPER
(9)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSÉED FLAMING WOOD GRASS KARL FOERSTER GRASS BLUE OAT GRASS
(25)	PERENNIALS (1 GAL.) DAISY SPECIES BLACK EYED SUSAN HOSTA SPECIES* WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

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Fairbanks

3001 - 3262 s.f.



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Color Collection 8

Lap Siding	Harvest - Park Lap Siding
Vertical Siding	Harvest - Park Vertical Siding
Shake Siding	Harvest - Cottage Siding
Exterior Trim	UP - Imperial Style
Shutters	Vinyl - Decorative
Shells & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architecturalingles
Brick	Flagstone Modular
Stone	Essex - Vantage - Cobble Machine Cut Veneer
Gutters	5 Aluminum Style
Door Sashes	2 x 3 Aluminum
Entry Door	Fiberpass Insulated - 5/8" per Elevation
Fold Door	1 x 1 1/2 GGD w/ Transom
Garage Door	Steel Insulated - 5/8" per Elevation
Windows	Vinyl - Low E Insulated 33k-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 6

Lead Siding	Hardie - Park Lap Siding
Brickwork	UP - Smart-Ton 2 1/4
Gutters	Wyn - Decorative
Trim & Fascia	Wyn - Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Gutters	1 - Aluminum Style
Down Spouts	2 - 3 - Aluminum
Entry Door	Keegans Insulated - Style 6000 Elevator
Front Door	1500 SGG w/ Transom
Garage Door	Steel Insulated - Style 6000 Elevator
Windows	Wyn - Low E Insulated 33 U-Value



Front Elevation

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Colonial Revival


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Rear Elevation



Left Elevation



Right Elevation

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Colonial Revival



Color Collection 11

Exterior Siding	Hardie® Plank Lap Siding
Shake Siding	Hardie® Shake Siding
Exterior Trim	1/2" SmartTrim®
Shutters	1/2" x 2" Decorative
Columns & Porch	1/2" x 1" Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Masonry
Stone	Eden's Valley - Oakleaf Machine Cut Veneer
Gutters	2" Aluminum F-Style
Downspouts	1 1/2" Aluminum
Entry Door	Decorative Glass - Street Elevation
Porch Door	600100 w/ Transom
Garage Door	Steel - Insulated - Street Elevation
Windows	1/2" x Low E Ins. Area 33 L-Value



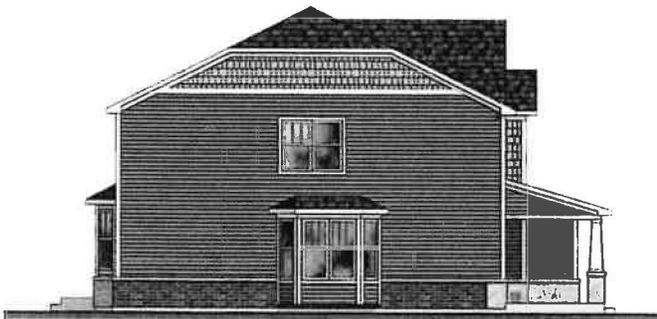
Front Elevation

Fairbanks
Craftsman


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Rear Elevation



Left Elevation



Right Elevation

Fairbanks
Craftsman


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Color Collection 16 FH

Ceilings	Harvest - Park Lane Siding
Vertical Siding	Harvest - Park Lane Siding
Exterior Trim	Harvest - Park Lane Siding
Shutters	Yield - Decorative
Shells & Fazio	Yield - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Ebene's Volcanic - Oak Field Machine Cut Veneer
Gutters	3" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	FiberGlas Insulated - Style per Elevation
Front Door	3145 SDO w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Yield - Low E Measured 33 L-Value



Front Elevation

Fairbanks
Urban Farmhouse


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Rear Elevation

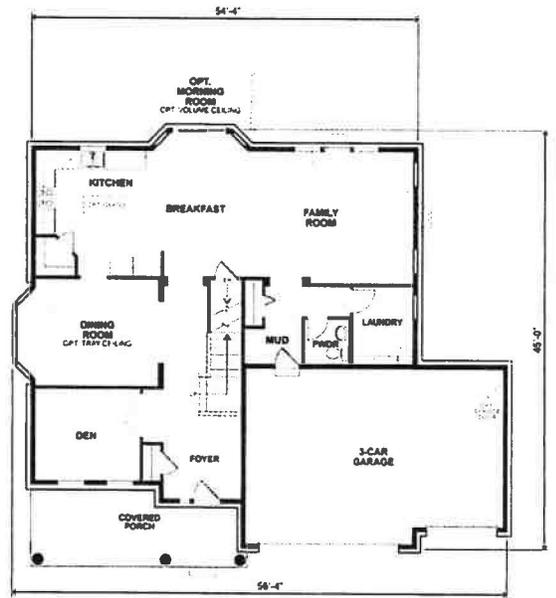


Left Elevation



Right Elevation

Fairbanks
Urban Farmhouse



Fairbanks

Color Collection 8

Land Siding	Hardie® Panel Lap Siding
Vertical Siding	Hardie® Panel Vertical Siding
Shake Siding	Hardie® Shake Siding
Exterior Trim	SP® SmartTrim Siding
Shutters	Vinyl Composite
Columns & Posts	Vinyl Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders® Oakleaf Machine Cut Veneer
Gutters	3" Aluminum Style
Down Spout	1.5" Aluminum
Entry Door	Keypath® Insulated Style and Elevator
Patio Door	4500 SDO w/ Transom
Garage Door	Steel Insulated Style and Elevator
Windows	Vinyl Low E Insulated 33 LxV48



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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REAR YARD PLANT LIST- GOLF COURSE LOT

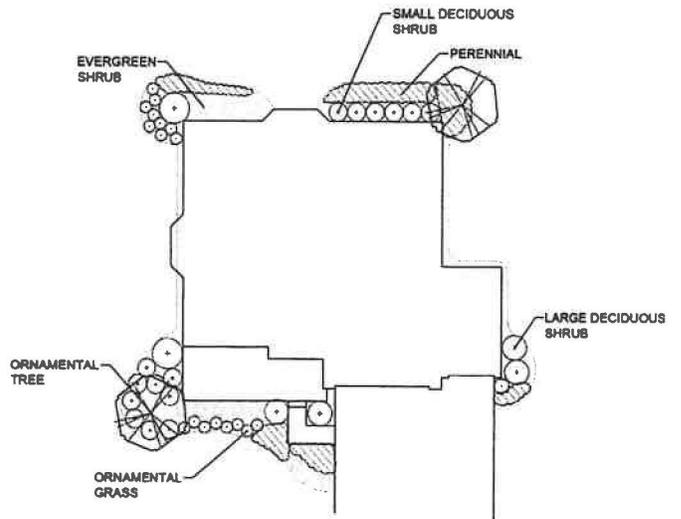
QTY	PLANT TYPE
(1)	ORNAMENTAL TREES: (6' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELLANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
(1)	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
(2)	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* HINEBARK SPECIES LITTLE HENRY SWEET SPIRE* ROSE SPECIES DARK HORSE WEIGELA
(3)	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
(9)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSSEED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
(6)	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
(1)	ORNAMENTAL TREES: (6' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELLANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
(4)	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
(10)	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* HINEBARK SPECIES LITTLE HENRY SWEET SPIRE* ROSE SPECIES DARK HORSE WEIGELA
(8)	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
(9)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSSEED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
(24)	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



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Color Collection 14

Cap Siding	HardieB. Panel Lap Siding
Vertical Siding	HardieB. Panel Vertical Siding
Shake Siding	HardieB. Shake Siding
Exterior Trim	UP - SmartTrim Siding
Shutter	UP - Decorative
Soffit & Fascia	UP - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standards Modular
Stone	Eden's Vanders - Oakleaf Machine Cut Veneer
Gutters	2" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	fiberglass Insulated - 57 per Elevation
Front Door	42x100 w/ Transom
Garage Door	Steel Insulated - 57 per Elevation
Windows	UP - Low E Insulated 33 L-Value



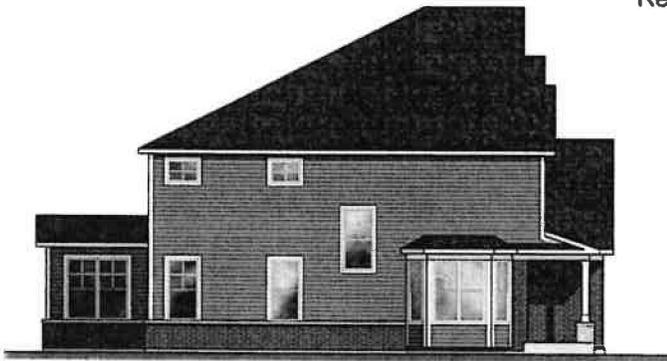
Front Elevation

Essex
Artisan

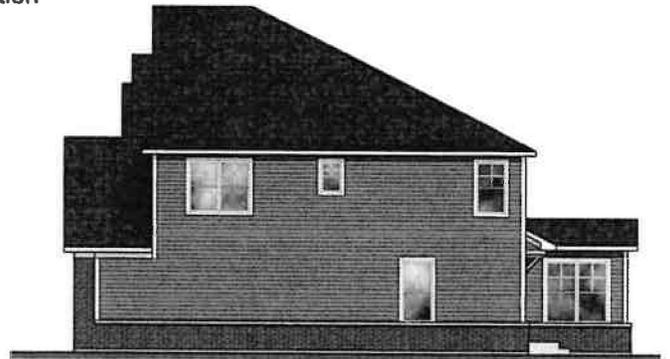

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Rear Elevation



Left Elevation



Right Elevation

Essex
Artisan


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Color Collection 8

Exterior Siding	Hardie® Plank Lap Siding
Interior Trim	1 1/2" Smooth Trim
Shutters	6 1/2" Decorative
Coffin & Fascia	6 1/2" Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Gutters	2" Aluminum Style
Down Spouts	2 x 3" Aluminum
Entry Door	Abergas Insulated Triple Elevator
Front Door	100 100 w/ Transom
Garage Door	Steel Insulated Triple Elevator
Windows	View-Low E Insulated 33 or 40L



Front Elevation

Essex
Colonial Revival


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Rear Elevation



Left Elevation



Right Elevation

Essex
Colonial Revival


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Color Collection 5

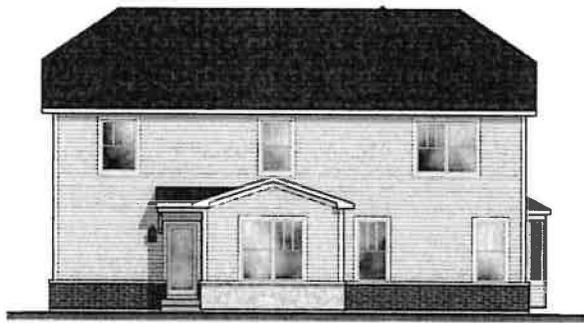
Cap Siding	HardieB - Park Lap Siding
Shake Siding	HardieB - Single Siding
Shutter Trim	UP - Image Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Mason
Stone	Essex Vaden - Oakfield Machine Cut Veneer
Gutters	5" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Ins. Steel - 1 1/2" Insulation
Front Door	1 1/2" Ins. w/ Transom
Garage Door	Steel Insulated - 1 1/2" Insulation
Windows	Vinyl - Low E Insulated 33 U-Value



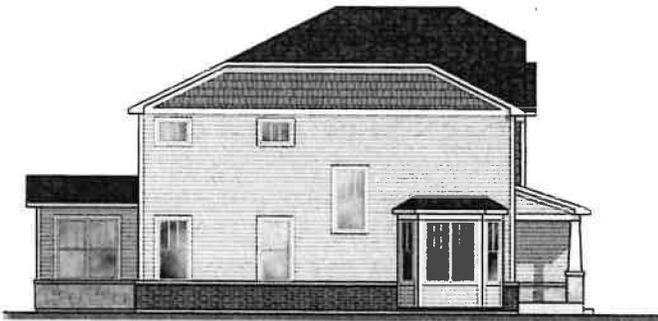
Front Elevation

Essex
Craftsman

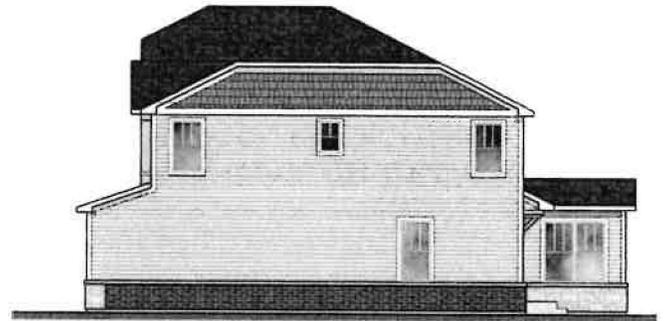

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Rear Elevation



Left Elevation



Right Elevation

Essex
Craftsman


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Color Collection 16 FH

Ceilings	Hardie - Ply Low Slab
Vertical Siding	Hardie - Ply Vertical Slab
Exterior Trim	1/2" SmartForm S4
Shutters	1/2" - Decorative
Soffit & Fascia	1/2" Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Ekena Vanders - Oakfield Machine Cut Veneer
Gutters	2" Aluminum Style
Down Spouts	2" x 2" Aluminum
Entry Door	Fiberglass Insulated - 5 Panel Elevator
Side Door	1/2" SGGW/Torison
Garage Door	Steel Insulated - 5 Panel Elevator
Windows	1/2" Low E Insulated 33 L/View



Front Elevation

Essex
Urban Farmhouse

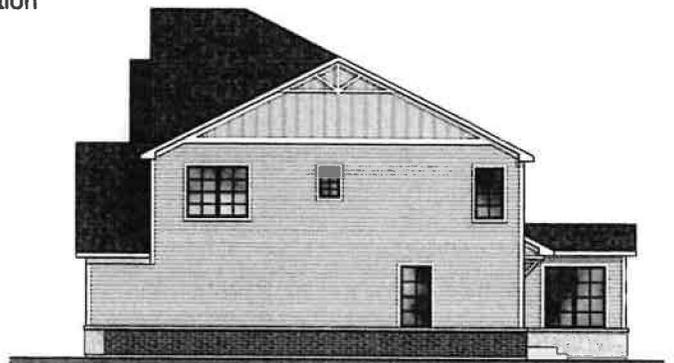

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Rear Elevation



Left Elevation



Right Elevation

Essex
Urban Farmhouse



Bedroom 5

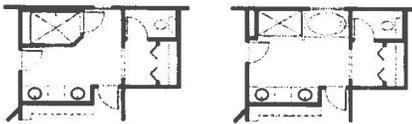
Bedroom 2 w/ Bath

Fireplace



Guest Room

Study



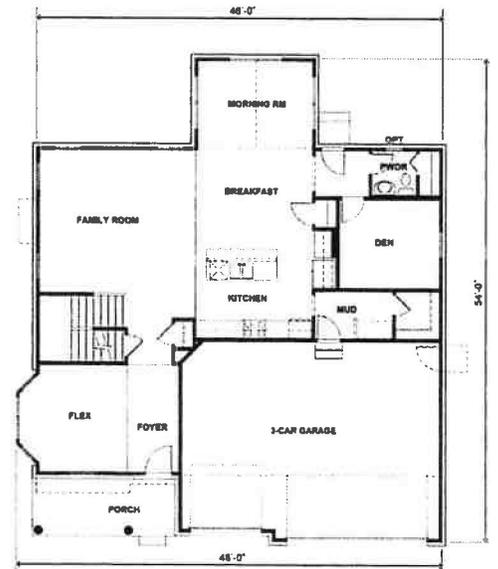
Walk-in Shower

Luxury Bath

Plan Options



Upper Floor Plan



Main Floor Plan

Essex



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Color Collection 14

Lead Siding	Harvest - Park Lane Siding
Vertical Siding	Harvest - Park Lane Siding
Shake Siding	Harvest - Chicago Siding
Exterior Trim	18 - Spectrum Siding
Shutters	Viral - Decorative
Columns & Follia	Viral - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Volcanic - Oakleaf - Machine Cut Veneer
Gutters	2 - Aluminum Style
Down Spouts	2 x 3 - Aluminum
Entry Door	Featuring Insulated - Style and Elevation - 120 x 100 w/ Transom
Front Door	Featuring Insulated - Style and Elevation
Garage Door	Steel Insulated - Style and Elevation
Windows	Viral - Low E Insulated 33 L-Value



Front Elevation

Essex
Artisan

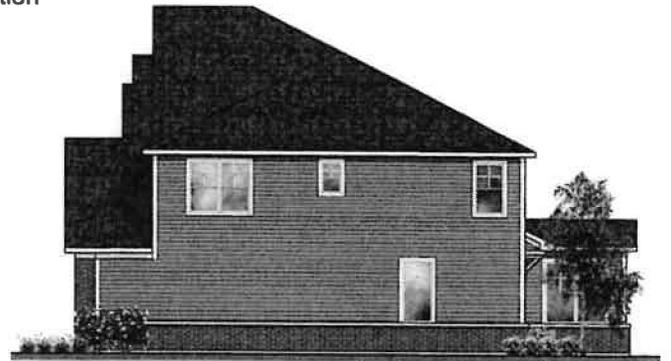

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Rear Elevation



Left Elevation



Right Elevation

Essex
Artisan

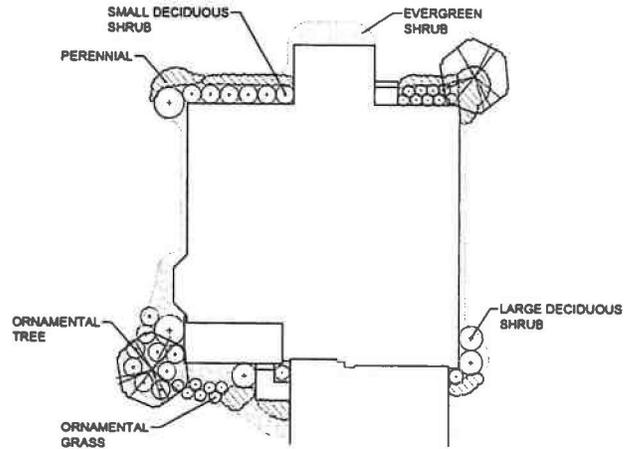

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REAR YARD PLANT LIST- GOLF COURSE LOT

QTY	PLANT TYPE
(1)	ORNAMENTAL TREES (8" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
(1)	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWO DOGWOOD HYDRANGEA SPECIES*
(8)	SMALL SHRUBS (18" TALL / 3 GAL.) ARCTIC FINE REDTWO DOGWOOD NINEBARK SPECIES ROSE SPECIES
(3)	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
(9)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED FLAMING MOOR GRASS
(60)	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
(1)	ORNAMENTAL TREES (8" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
(4)	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWO DOGWOOD HYDRANGEA SPECIES*
(10)	SMALL SHRUBS (18" TALL / 3 GAL.) ARCTIC FINE REDTWO DOGWOOD NINEBARK SPECIES ROSE SPECIES
(3)	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
(9)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED FLAMING MOOR GRASS
(24)	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Essex

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Eastman

2760 - 2870 s.f.



M/I HOMES

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01.10.22

Color Collection 13

Land Siding	Hardie® - Park Lane Siding
Vertical Siding	Hardie® - Park Vertical Siding
Shake Siding	Hardie® - Shake Siding
Panel Siding	Hardie® - Panel Siding
Exterior Trim	SP - Colonial Blue
Shutters	Vinyl - Decorative
Columns & Posts	Vinyl - Aluminum
Roadtop	Laminated - Architectural Siding
Roof	Standard Asphalt
Stone	Eden's Visions - Oakleaf Machine Cut Veneer
Gutters	3 Aluminum Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x60 Insulated w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 L-Value



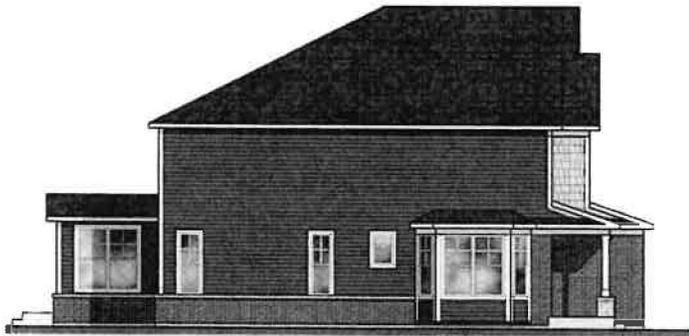
Front Elevation

Eastman
Artisan

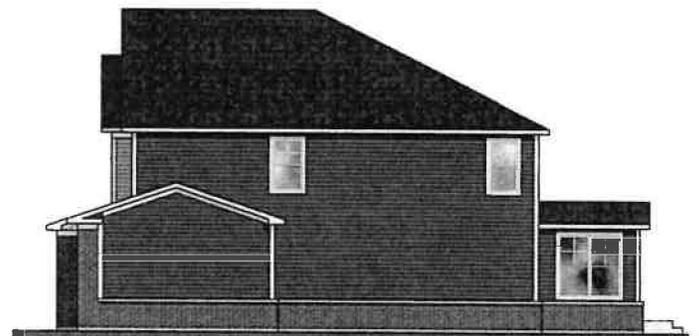

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Rear Elevation



Left Elevation



Right Elevation

Eastman
Artisan


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Color Collection 8

Land Siding	Hardie® Park Lane Siding
Panel Siding	Hardie® Park Lane Siding
Exterior Trim	UP SmartForm SIA
Shutters	Vinyl Decorative
Crafts & Passels	7x7 Aluminum
Footing	Laminated Architectural Sipes
Brick	Standard Modular
Gutters	5 Aluminum Style
Down Spouts	2 x 3 Aluminum
Entry Door	Energy Insulated - Style per Elevation
Front Door	128100 w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl Low E Insulated 33 U-Value



Front Elevation

Eastman
Colonial Revival

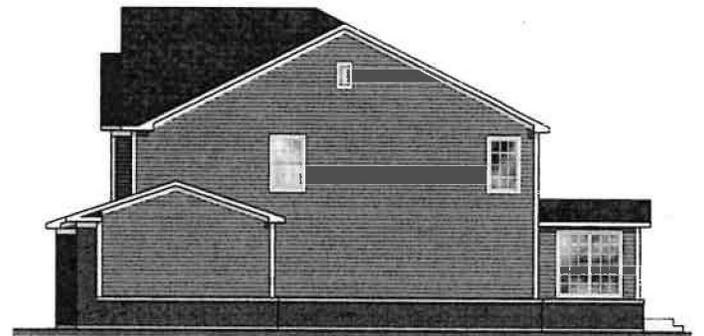

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Rear Elevation



Left Elevation



Right Elevation

Eastman
Colonial Revival

Color Collection 1

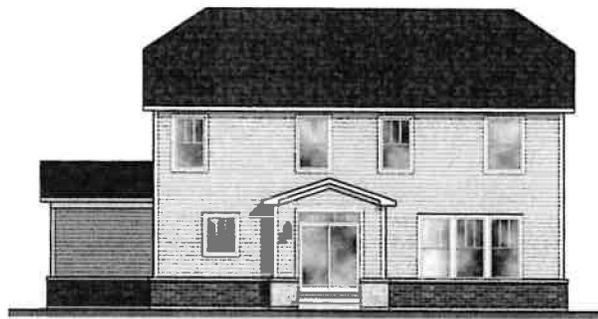
Roofing	Hardie® Plank Lap Siding
Shake Siding	Hardie® Shingle Siding
Exterior Trim	UP SmartTrim® SIA
Shutters	Vinyl Decorative
Columns & Porch	Vinyl Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Stone	Essex Valders - Oakford Machine Cut Veneer
Gutters	2" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Polycarbonate Insulated Street Elevator
Front Door	48" x 80" w/ Transom
Garage Door	Steel Insulated Street Elevator
Windows	Vinyl Low E Insulated 33 L/Value



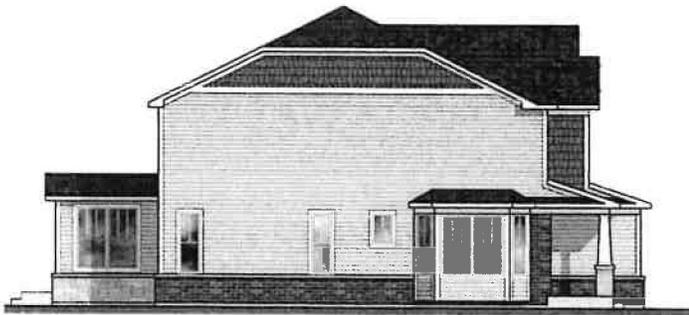
Front Elevation

Eastman
Craftsman

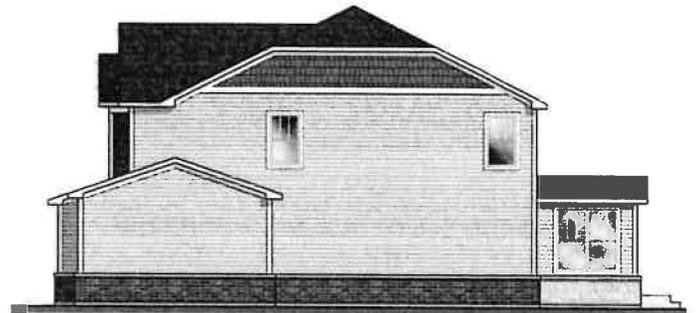

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Rear Elevation



Left Elevation



Right Elevation

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Craftsman


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Color Collection 15 FH

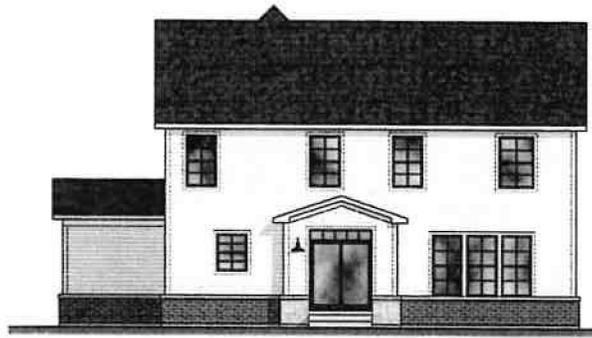
Lead Siding	Hardie - Panel Lead Siding
Vertical Siding	Hardie - Panel Vertical Siding
Exterior Trim	UP - SmartTrim 2x4
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Mason
Stone	Edens Vanders - Oakfield Machine Cut Veneer
Gutters	3" x 3" Aluminum
Down Spout	2" x 3" Aluminum
Entry Door	fiberglass Insulated - 57 lbs per Elevator
Back Door	42x100 w/ Transom
Garage Door	Steel - Insulated - 57 lbs per Elevator
Windows	Vinyl - Low E Insulated 33 L-Value



Front Elevation

Eastman
Urban Farmhouse

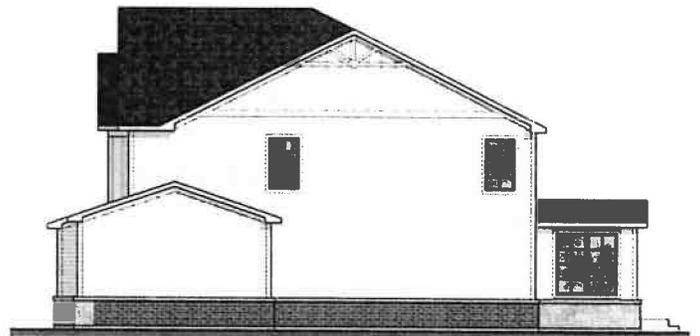




Rear Elevation



Left Elevation



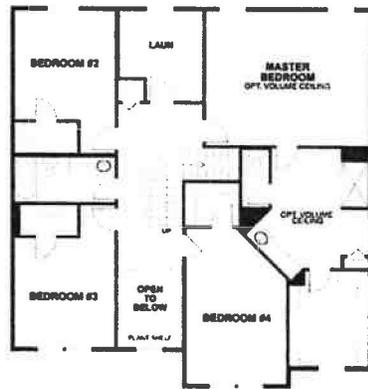
Right Elevation

Eastman
Urban Farmhouse

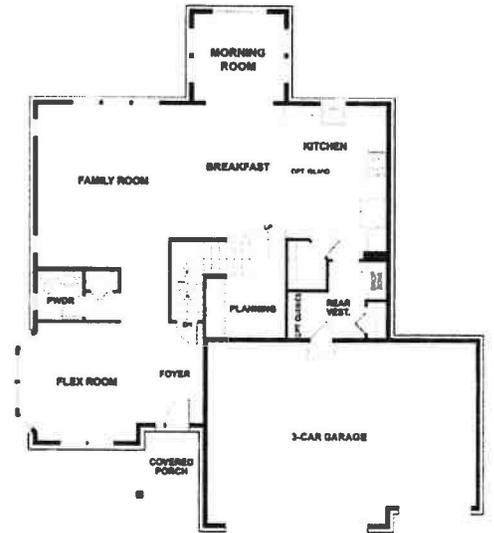




Plan Options



Upper Floor Plan



Main Floor Plan

Eastman

Color Collection 13

Low Siding	Horizontal - Park Lane Siding
Vertical Siding	Horizontal - Park / Vertical Siding
Shake Siding	Horizontal - Shingle Siding
Panel Siding	Horizontal - Panel Siding
Exterior Trim	LP - Smart Trim Siding
Shutters	Vinyl - Decorative
Garill & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Stone's Visions - Oakfield / Machine Cut Veneer
Gutters	5 Aluminum Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiber Reinforced - Steel per Elevation
Panel Door	Steel / SDO w/ Transom
Garage Door	Steel Insulated - Steel per Elevation
Windows	Vinyl - Low E Insulated 33 L/Value



Front Elevation

Eastman
Artisan

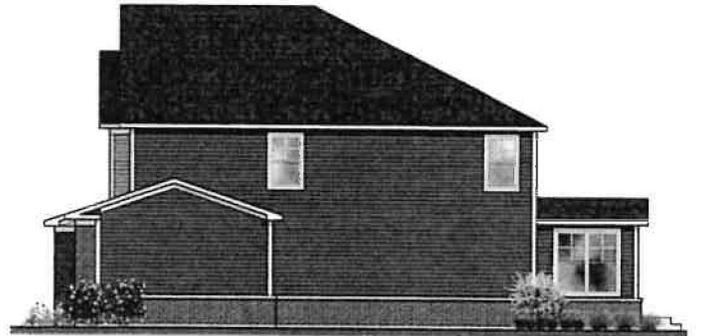

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Rear Elevation



Left Elevation



Right Elevation

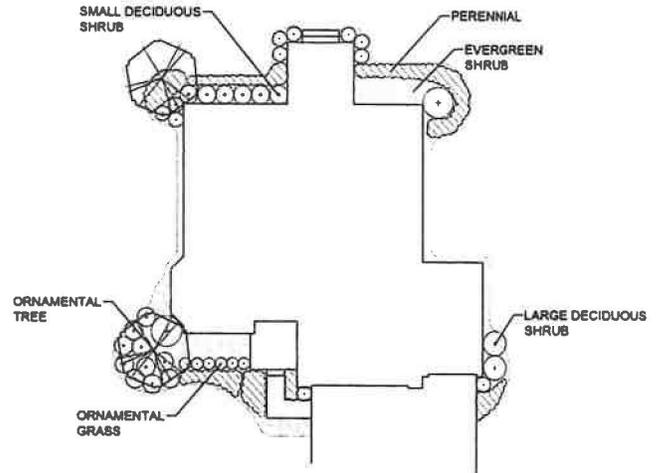
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Artisan


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REAR YARD PLANT LIST- GOLF COURSE LOT

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (6" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[9]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD HINDBAR SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[10]	PERENNIALS (1 GAL.) DAVILEY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (6" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD HINDBAR SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[6]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[24]	PERENNIALS (1 GAL.) DAVILEY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

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Elbridge

2225 - 2443 s.f.



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Color Collection 8

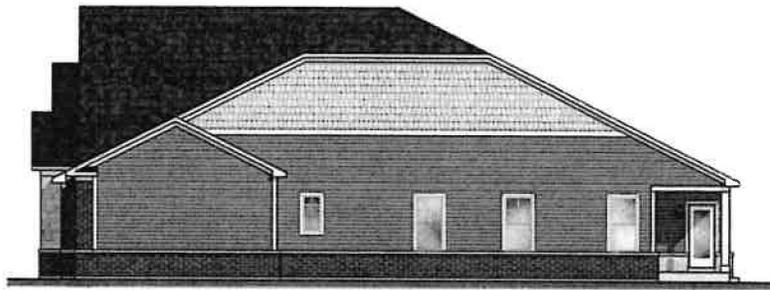
Land Siding	Hardie® Panel Low Siding
Vertical Siding	Hardie® Panel Vertical Siding
Shake Siding	Hardie® Shake Siding
Exterior Trim	LP® SmartSide®
Shutters	Vinyl - Decorative
Soffits & Fascia	Vinyl / Aluminum
Roofing	Laminated Architectural Shingles
Stairs	Standard Modular
Stone	Stone Veneer - Crafted Machine Cut Veneer
Gutters	2" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	fiberglass Insulated - Style per Elevator
Patio Door	42x54 IGD w/ Transom
Garage Door	Steel Insulated - Style per Elevator
Windows	Vinyl - Low E Insulated 55 L-Value



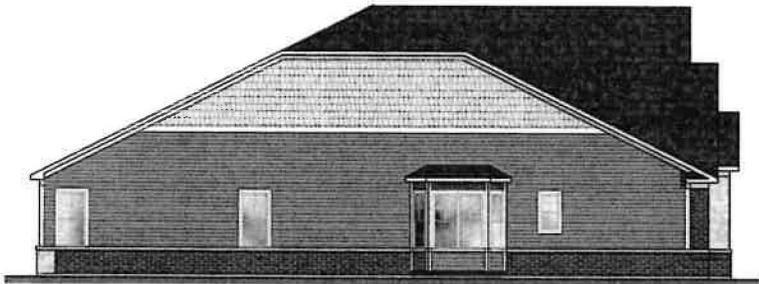
Front Elevation

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Artisan


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Right Elevation



Left Elevation



Rear Elevation

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Color Collection 6

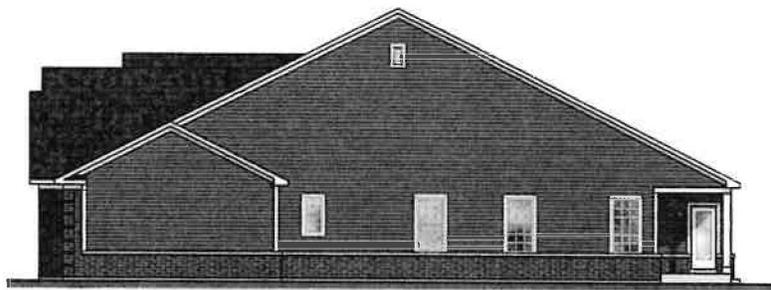
Lot Siding	Woods - Park Lane Siding
Exterior Trim	LP - Smartform Edge
Gutters	Vinyl - Decorative
Coffin & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	2 - Aluminum Style
Down Spouts	2 - 3 - Aluminum
Entry Door	Acrylic Glass, Steel - Style per Elevation
Patio Door	60x100 w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E, Insulated 33 L/Value



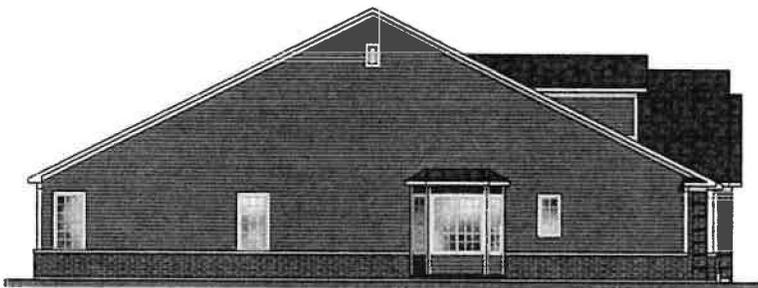
Front Elevation

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Colonial Revival


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Right Elevation



Left Elevation



Rear Elevation

Elbridge
Colonial Revival



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Color Collection 1

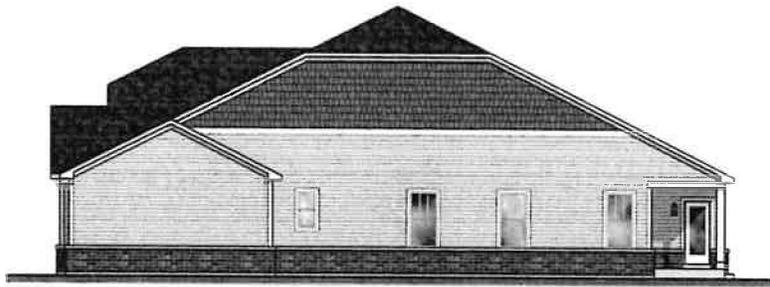
Lake Stone	Hardie® - Park Lake Stone
Drake Stone	Hardie® - Single Stone
Evergreen	UP - Cement Fiber Slat
Stone & Patio	Vinyl Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	Heavy Insulated - Fiberglass
Back Door	10' x 8'00" Fiberglass
Garage Door	Steel Insulated - Fiberglass
Windows	Vinyl - Low E Insulated 33 Wave



Front Elevation

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Craftsman


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Right Elevation



Left Elevation



Rear Elevation

Elbridge
Craftsman


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Color Collection 15 FH

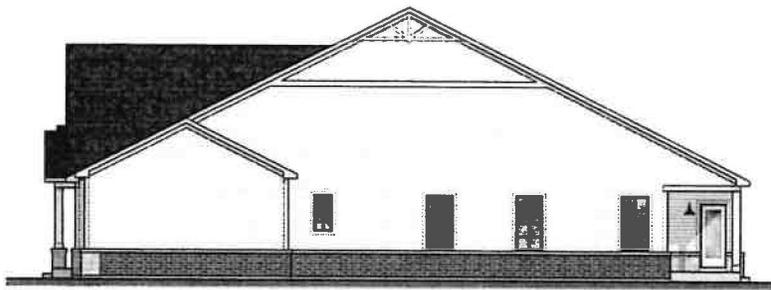
Land Siding	Hardie S-Park Lap Siding
Vertical Siding	Hardie S-Park Vertical Siding
Exterior Trim	UP-Imperial Siding
Shutters	VNY-Decorative
Soffit & Fascia	VNY-Aluminum
Flooring	Laminated-Architectural 3-ply
Brick	Standard Mason
Stone	Essex Va Stone-Oakfield Masonry Cult Veneer
Columns	UP-Aluminum S/S
Down Spouts	UP-Aluminum
Entry Door	Fiberglass Insulated-Steel per Elevation
Patio Door	UP-100 W/Transom
Garage Door	Steel Insulated-Steel per Elevation
Windows	VNY-Low E Insulated 33 U-Value



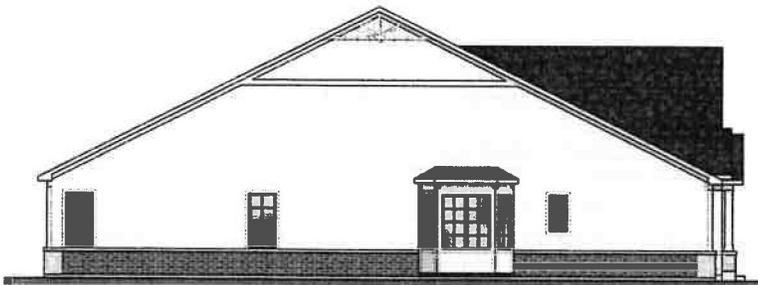
Front Elevation

Elbridge
Urban Farmhouse

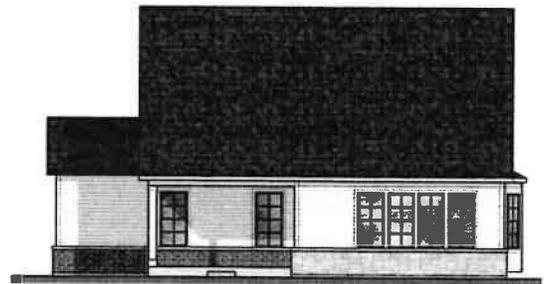

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Right Elevation



Left Elevation



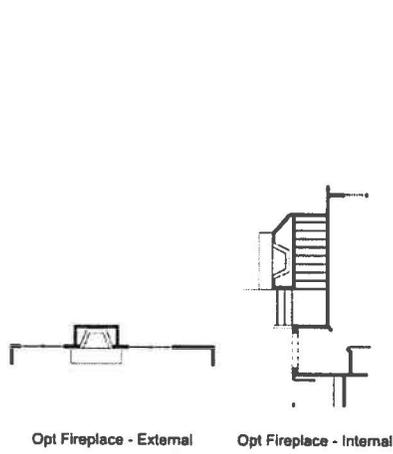
Rear Elevation

Elbridge
Urban Farmhouse

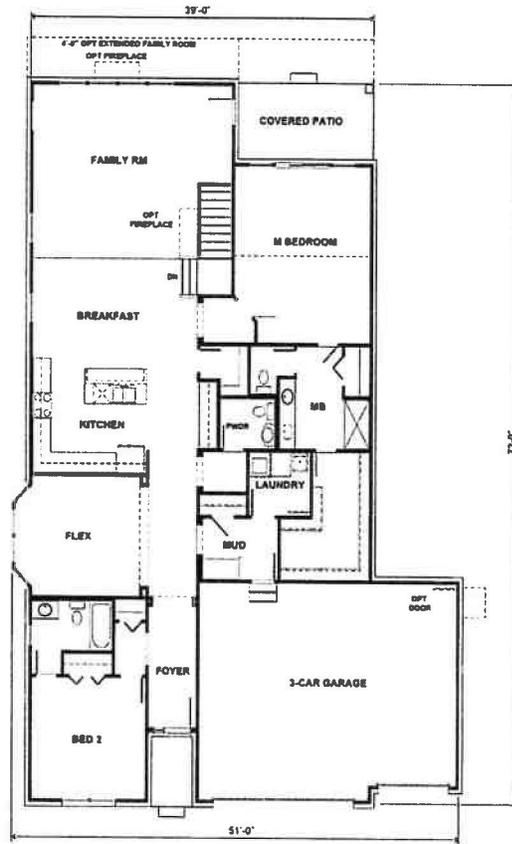


M/I HOMES

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Plan Options



Main Floor Plan

Elbridge

Color Collection 8

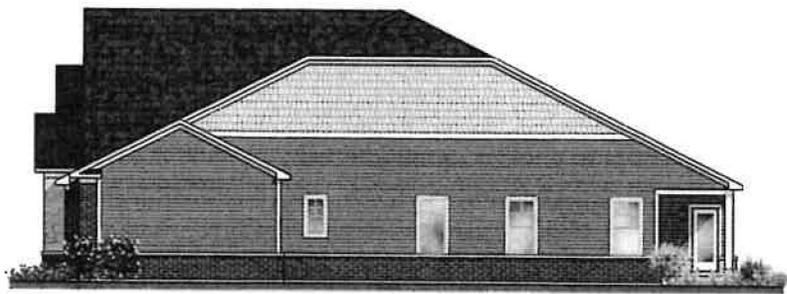
Lead Siding	Hardie®-Pine-Last Siding
Vertical Siding	Hardie®-Pine-Vertical Siding
Shake Siding	Hardie®-Shingle Siding
Exterior Trim	1 1/2" SmartTrim® SIA
Shutters	Vinyl-Decorative
Columns/Facets	Vinyl-Aluminum
Roofing	Low-sloped-Architectural Shingles
Brick	Standard/Random
Stone	Identi-Vadem®-Cobble's Machine Cut Veneer
Gutters	3 Aluminum Style
Door Sposts	1-3 Aluminum
Entry Door	Steel-Insulated-Style per Elevation
Front Door	HD55GD/Transom
Garage Door	Steel-Insulated-Style per Elevation
Windows	Vinyl-Low-E-Insulated-33 L-Value



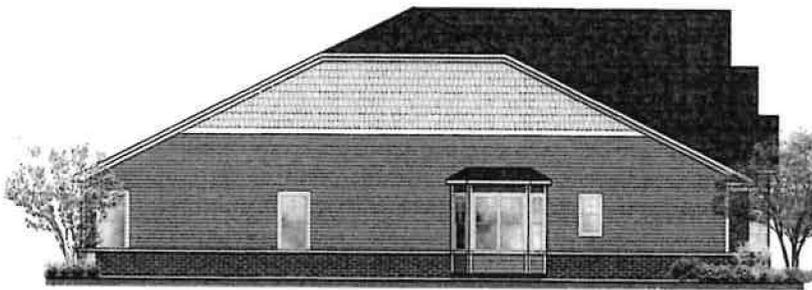
Front Elevation

Elbridge
Artisan


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Right Elevation



Left Elevation



Rear Elevation

Elbridge
Artisan


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REAR YARD PLANT LIST- GOLF COURSE LOT

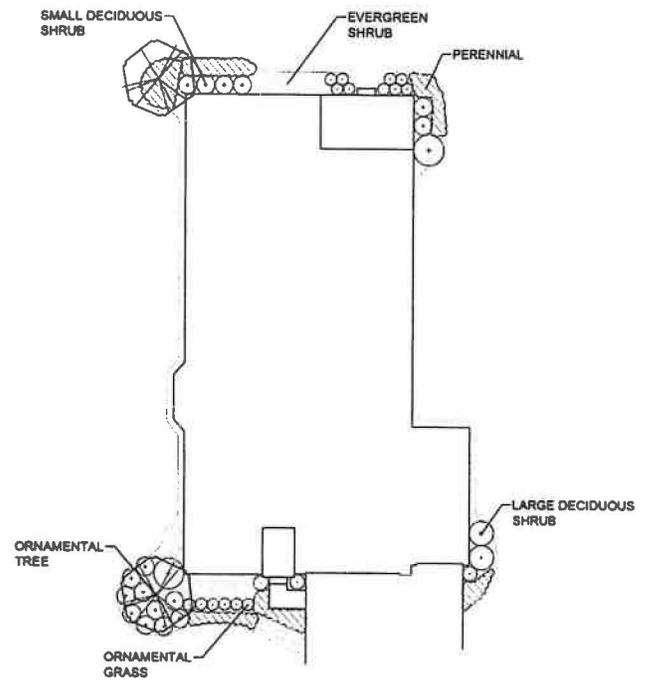
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (8' CLUMP FORM OR 1" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC
[1]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIN DOGWOOD HYDRANGEA SPECIES*
[8]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIN DOGWOOD NINEBARK SPECIES ROSE SPECIES
[3]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
[8]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOON GRASS
[50]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC
[4]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIN DOGWOOD HYDRANGEA SPECIES*
[10]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIN DOGWOOD NINEBARK SPECIES ROSE SPECIES
[6]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
[2]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOON GRASS
[25]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Elbridge