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 Page 1 of 210
 Fees: \$50.00
 Lake County IL
 Anthony Vega Lake County Clerk
 File **7973347**

2 LAGOON DRIVE • HAWTHORN WOODS, ILLINOIS 60047 • TEL. 847-438-5500 • FAX 847-438-1459
 WWW.VHW.ORG

STATE OF ILLINOIS)
)
 COUNTY OF LAKE)

I, Donna Lobaito, certify that I am duly appointed and Village Clerk of the Village of Hawthorn Woods, Lake County, Illinois, **DO HEREBY CERTIFY THAT AS SUCH Village Clerk I am the keeper of the records, ordinances, resolutions, minutes, entries, orders, books, papers and seal of the said Village.**

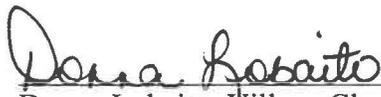
I DO FURTHER CERTIFY that pursuant to 735 ILCS 5/1-109, the following is a true and correct copy of:

RESOLUTION NO. 04-25-22-2

A RESOLUTION AUTHORIZING THE MAYOR AND CHIEF OPERATING OFFICER OF THE VILLAGE OF HAWTHORN WOODS TO ENTER INTO A CERTAIN FIFTH AMENDMENT TO THE ANNEXATION AND DEVELOPMENT AGREEMENT—MI HOMES—HAWTHORN WOODS COUNTRY CLUB—APPROXIMATELY 105 LOTS LOCATED WITHIN THE HAWTHORN WOODS COUNTRY CLUB LOCATED WEST OF GILMER ROAD, EAST OF FAIRFIELD ROAD AND NORTH AND SOUTH OF SCHWERMAN ROAD

and that the original of said copies for the Village of Hawthorn Woods remains on file in my office and is in full force and effect.

WITNESS my hand and the corporate seal of said Village, this 11th day of May 2023.


 Donna Lobaito, Village Clerk



Submitted by and Mail to:
 Donna Lobaito, Village Clerk
 Village of Hawthorn Woods
 2 Lagoon Drive
 Hawthorn Woods, IL 60047



RESOLUTION NO. 04-25-22-2

A RESOLUTION AUTHORIZING THE MAYOR AND CHIEF OPERATING OFFICER OF THE VILLAGE OF HAWTHORN WOODS TO ENTER INTO A CERTAIN FIFTH AMENDMENT TO THE ANNEXATION AND DEVELOPMENT AGREEMENT – MI HOMES – HAWTHORN WOODS COUNTRY CLUB – APPROXIMATELY 105 LOTS LOCATED WITHIN THE HAWTHORN WOODS COUNTRY CLUB LOCATED WEST OF GILMER ROAD, EAST OF FAIRFIELD ROAD AND NORTH AND SOUTH OF SCHWERMAN ROAD

WHEREAS, Toll IL HWCC, L.P. and certain other parties previously entered into that certain Annexation and Development Agreement with the Village recorded in the Office of Lake County Recorder on May 30, 2003, as Document No. 5251985, regarding the real estate legally described in Exhibit "A", attached hereto and made a part hereof ("Subject Realty"); and

WHEREAS, said Agreement has previously been amended pursuant to a First Amendment to Annexation and Development Agreement recorded in the Office of the Lake County Recorder on November 3, 2004, as Document No. 5675024, a Second Amendment to Annexation and Development Agreement recorded in the Office of the Lake County Recorder on August 3, 2007, as Document No. 6222247, and a Third Amendment to Annexation and Development Agreement recorded in the Office of the Lake County Recorder on September 27, 2007, as Document No. 6247655; a Fourth Amendment to the Annexation and Development Agreement approved by Resolution Number 09-29-10-2 by the Village Board of the Village of Hawthorn Woods on September 29, 2010; and

WHEREAS, MI Homes and Toll IL HWCC, L.P. desire to further amend said Agreement; and

WHEREAS, a Public Hearing was held on a Fifth Amendment to Annexation and Development Agreement on or about April 25, 2022, as required by law, all appropriate notices having been given; and,

WHEREAS, all other public hearings required by law to be held have been held; and,

WHEREAS, the Mayor and Board of Trustees have considered the terms and provisions of the proposed Fifth Amendment to Annexation and Development Agreement.

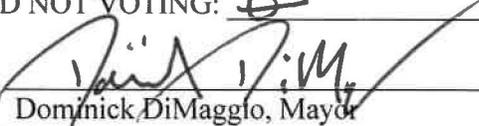
NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Hawthorn Woods, Lake County, Illinois, that the Mayor and Chief Operating Officer be and the same are hereby authorized to execute that certain Fifth Amendment to Annexation and Development Agreement, in substantially the form heretofore incorporated herein as Exhibit "B", by and on behalf of the Village of Hawthorn Woods.

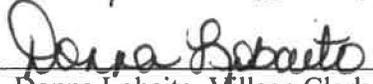
The foregoing Resolution was passed by a roll call vote as follows:

AYES: Kaiser, Riess, Bauer, David, McCarthy, Rechele, DiMaggio

NAYS: 0

ABSENT AND NOT VOTING: 0

APPROVED: 
Dominick DiMaggio, Mayor

ATTEST: 
Donna Lobaito, Village Clerk

PASSED: April 25, 2022

APPROVED: April 25, 2022

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER, THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF THE SOUTHEAST QUARTER OF SECTION 28, AND PART OF SECTION 33 AND PART OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 33, THENCE NORTH 00 DEGREES 05 MINUTES 54 SECONDS EAST, 827.17 FEET (828.3 FEET, DEED) ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 33 TO THE SOUTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 1827397; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 226.39 FEET (225.49 FEET, DEED) ALONG THE SOUTH LINE OF SAID PARCEL TO A POINT ON THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER COUNTY PLATS RECORDED AS DOCUMENT NUMBER 981291 AND DOCUMENT NUMBER 981292; THENCE SOUTHEASTERLY 247.81 FEET (248 FEET DEED) ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 25 DEGREES 06 MINUTES 10 SECONDS EAST, 247.66 FEET; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 527.20 FEET (526.74 FEET, DEED), PARALLEL WITH THE SOUTH LINE OF SAID PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 1827397; THENCE NORTH 02 DEGREES 17 MINUTES 08 SECONDS WEST, 228.28 FEET TO THE SOUTH LINE OF SAID PARCEL OF LAND; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 1805.21 FEET ALONG SAID SOUTH LINE TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 25 MINUTES 17 SECONDS WEST, 990.00 FEET ALONG SAID EAST LINE TO THE NORTHEAST CORNER OF SAID PARCEL OF LAND RECORDED AS DOCUMENT NUMBER 1827397; THENCE SOUTH 87 DEGREES 42 MINUTES 52 SECONDS WEST, 865.09 FEET ALONG THE NORTH LINE OF SAID PARCEL OF LAND TO THE SOUTHEAST CORNER OF BITTERSWEET MEADOWS OPEN SPACE SINGLE-FAMILY RESIDENTIAL HOUSE SUBDIVISION RECORDED AS DOCUMENT NUMBER 4498969; THENCE NORTH 00 DEGREES 06 MINUTES 02 SECONDS EAST, 982.79 FEET (981.76 FEET, RECORD) ALONG THE EAST LINE OF SAID BITTERSWEET MEADOW TO A POINT ON THE CENTERLINE OF SCHWERMAN ROAD; THENCE NORTH 75 DEGREES 40 MINUTES 26 SECONDS WEST, 275.37 FEET (275.47 FEET, RECORD) ALONG SAID CENTERLINE TO AN ANGLE POINT; THENCE NORTH 67 DEGREES 00 MINUTES 35 SECONDS WEST, 592.79 FEET ALONG SAID CENTERLINE TO THE SOUTHEAST CORNER OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 2186020; THENCE NORTH 00 DEGREES 09 MINUTES 59 SECONDS WEST, 1606.00 FEET ALONG THE EASTERLY LINE OF SAID PARCEL OF LAND AND AN EASTERLY LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 4930390, TO

A POINT ON A LINE 7.47 CHAINS (493.02 FEET) SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 55 MINUTES 57 SECONDS EAST, 1659.44 FEET ALONG SAID PARALLEL LINE TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 24 MINUTES 20 SECONDS WEST, 388.02 FEET ALONG SAID WEST LINE TO A POINT ON THE SOUTH LINE OF THE NORTH 105.00 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 50 MINUTES 04 SECONDS EAST, 300.00 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF THE WEST 300.00 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 24 MINUTES 20 SECONDS WEST, 105.00 FEET ALONG SAID EAST LINE TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 10 MINUTES 30 SECONDS WEST, 650.69 FEET (649.77 FEET, DEED) ALONG A LINE 300.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28 TO A POINT ON THE CENTERLINE OF OWENS ROAD; THENCE NORTH 79 DEGREES 04 MINUTES 32 SECONDS EAST, 460.41 FEET ALONG SAID CENTERLINE; THENCE NORTH 43 DEGREES 33 MINUTES 37 SECONDS EAST, 275.52 FEET ALONG SAID CENTERLINE TO A POINT OF INTERSECTION WITH A LINE 371.22 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE NORTH 44 DEGREES 10 MINUTES 15 SECONDS EAST, 530.98 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28; THENCE SOUTH 00 DEGREES 11 MINUTES 09 SECONDS EAST, 676.00 FEET ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 28 TO THE SOUTH LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 4134934; THENCE NORTH 89 DEGREES 50 MINUTES 04 SECONDS EAST, 868.82 FEET ALONG SAID SOUTH LINE; THENCE NORTH 62 DEGREES 11 MINUTES 21 SECONDS EAST, 339.24 FEET (339.27 FEET DEED) ALONG A SOUTHEASTERLY LINE OF SAID PARCEL TO A POINT ON THE CENTERLINE OF GILMER ROAD (COUNTY HIGHWAY 26) PER HIGHWAY PLAT RECORDED AS DOCUMENT NUMBER 446774 AND DOCUMENT NUMBER 446775; THENCE SOUTHEASTERLY 306.31 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 65,317.20 FEET AND A CHORD BEARING SOUTH 28 DEGREES 22 MINUTES 49 SECONDS EAST, 306.31 FEET TO A POINT ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE SOUTH 00 DEGREES 11 MINUTES 48 SECONDS EAST, 527.02 FEET (532.63 FEET, DEED) ALONG THE SAID EAST LINE TO THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE NORTH 89 DEGREES 59 MINUTES 44 SECONDS EAST, 278.22 FEET (278.00 FEET, DEED) ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 34 TO A POINT ON SAID CENTERLINE OF GILMER ROAD (COUNTY HIGHWAY 26); THENCE SOUTH 27 DEGREES 43 MINUTES 45 SECONDS EAST, 1743.73 FEET ALONG SAID CENTERLINE TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY 418.89 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A

CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 114,592.00 FEET AND A CHORD BEARING SOUTH 27 DEGREES 50 MINUTES 02 SECONDS EAST, 418.88 FEET TO A POINT ON THE NORTH LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 665568; THENCE NORTH 89 DEGREES 45 MINUTES 23 SECONDS WEST, 377.05 FEET (406.95 FEET, DEED) ALONG SAID NORTH LINE TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE SOUTH 00 DEGREES 10 MINUTES 34 SECONDS WEST, 731.12 FEET (731.15 FEET, DEED) ALONG THE WEST LINE OF SAID PARCEL TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 34; THENCE NORTH 89 DEGREES 49 MINUTES 26 SECONDS WEST, 875.36 FEET (875.53 FEET, DEED) ALONG SAID SOUTH LINE TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 34; THENCE SOUTH 89 DEGREES 53 MINUTES 36 SECONDS WEST, 1395.65 FEET (1395.94 FEET, RECORD) ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 TO THE NORTHWEST CORNER OF LAKE LORRAINE ESTATES UNIT ONE RECORDED AS DOCUMENT NUMBER 2634403; THENCE SOUTHERLY AND EASTERLY ALONG THE BOUNDARY OF SAID LAKE LORRAINE ESTATES UNIT ONE THE FOLLOWING 19 COURSES:

THENCE SOUTH 00 DEGREES 06 MINUTES 24 SECONDS EAST, 40.00 FEET; THENCE SOUTH 21 DEGREES 44 MINUTES 50 SECONDS EAST, 74.87 FEET (75.00 FEET, RECORD); THENCE SOUTH 43 DEGREES 26 MINUTES 18 SECONDS EAST, 120.00 FEET; THENCE SOUTH 22 DEGREES 22 MINUTES 18 SECONDS EAST, 80.00 FEET; THENCE SOUTH 04 DEGREES 45 MINUTES 22 SECONDS EAST, 80.10 FEET; THENCE SOUTH 21 DEGREES 28 MINUTES 02 SECONDS WEST, 709.67 FEET (712.24 FEET, RECORD); THENCE SOUTH 24 DEGREES 41 MINUTES 04 SECONDS EAST, 300.00 FEET; THENCE NORTH 89 DEGREES 44 MINUTES 45 SECONDS EAST, 280.00 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 04 SECONDS EAST, 222.00 FEET; THENCE NORTH 89 DEGREES 47 MINUTES 54 SECONDS EAST, 170.00 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY 37.21 FEET (37.42 FEET, RECORD) ALONG THE ARC OF A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 299.53 FEET, A CHORD BEARING NORTH 86 DEGREES 14 MINUTES 22 SECONDS EAST, AND A CHORD DISTANCE OF 37.19 FEET; THENCE SOUTH 26 DEGREES 04 MINUTES 35 SECONDS EAST, 267.29 FEET (267.70 FEET, RECORD); THENCE NORTH 89 DEGREES 12 MINUTES 11 SECONDS WEST, 38.76 FEET; THENCE SOUTH 00 DEGREES 23 MINUTES 01 SECONDS WEST, 291.00 FEET; THENCE SOUTH 89 DEGREES 38 MINUTES 51 SECONDS EAST, 149.16 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY 25.64 FEET (25.59 FEET, RECORD) ALONG THE ARC OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 15.00 FEET, A CHORD BEARING SOUTH 40 DEGREES 40 MINUTES 16 SECONDS EAST, AND A CHORD DISTANCE OF 22.63 FEET TO A POINT OF TANGENCY; THENCE SOUTH 08 DEGREES 18 MINUTES 18 SECONDS WEST, 59.38 FEET; THENCE SOUTH 81 DEGREES 27 MINUTES 58 SECONDS EAST, 439.65 FEET (440.00 FEET, RECORD); THENCE NORTH 73 DEGREES 35 MINUTES 09 SECONDS EAST, 256.08 FEET (256.42 FEET, RECORD) TO THE SOUTHEAST CORNER OF SAID LAKE LORRAINE ESTATES UNIT ONE, SAID POINT BEING ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 33;

THENCE SOUTH 00 DEGREES 29 MINUTES 33 SECONDS EAST, 542.38 FEET ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 55 MINUTES 29 SECONDS WEST, 470.37 FEET ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER TO THE WEST LINE OF THE EAST 450.00 FEET OF THE NORTHEAST QUARTER OF SAID SECTION 4, ACCORDING TO A DEED RECORDED MAY 30, 1990 AS DOCUMENT NUMBER 2909469; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 230.92 FEET ALONG SAID WEST LINE TO A NORTH LINE OF A PARCEL OF LAND DESCRIBED IN SAID DEED RECORDED MAY 30, 1990 AS DOCUMENT NUMBER 2909469; THENCE NORTH 89 DEGREES 55 MINUTES 29 SECONDS WEST, 1405.62 FEET ALONG SAID NORTH LINE TO A WEST LINE THEREOF; THENCE SOUTH 02 DEGREES 13 MINUTES 24 SECONDS EAST, 1095.61 FEET ALONG SAID WEST LINE TO A POINT ON A SOUTH LINE THEREOF, SAID POINT ALSO BEING ON THE NORTH LINE OF GOVERNMENT LOT 1 OF THE NORTHEAST QUARTER OF SAID SECTION 4; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 1799.85 FEET ALONG SAID NORTH LINE TO A POINT ON A LINE THAT IS 8.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID GOVERNMENT LOT 1; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 693.00 FEET ALONG SAID PARALLEL LINE TO A POINT ON THE SOUTH LINE OF THE NORTH 693.00 FEET OF SAID GOVERNMENT LOT 1; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 8.00 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF SAID GOVERNMENT LOT 1; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 627.99 FEET ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 37 MINUTES 08 SECONDS WEST, 2636.65 FEET ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 1 TO THE CENTER OF SAID SECTION 4; THENCE SOUTH 00 DEGREES 05 MINUTES 41 SECONDS EAST, 349.00 FEET ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4 TO A POINT ON THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER HIGHWAY PLAT RECORDED AS DOCUMENT NUMBER 911716; THENCE NORTH 52 DEGREES 01 MINUTES 58 SECONDS WEST, 63.90 FEET ALONG SAID CENTERLINE TO A POINT OF CURVATURE; THENCE NORTHWESTERLY 623.99 FEET ALONG SAID CENTERLINE PER HIGHWAY PLATS RECORDED AS DOCUMENT NUMBER 911716 AND DOCUMENT NUMBER 981291, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2864.93 FEET AND A CHORD BEARING NORTH 45 DEGREES 47 MINUTES 35 SECONDS WEST, 622.76 FEET; THENCE NORTH 52 DEGREES 49 MINUTES 27 SECONDS EAST, 623.48 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 4; THENCE NORTH 00 DEGREES 03 MINUTES 58 SECONDS EAST, 251.73 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF THE NORTH 570.00 FEET OF GOVERNMENT LOT 1 OF THE NORTHEAST QUARTER OF SAID SECTION 4; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 620.01 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF THE WEST 620.00 FEET OF SAID GOVERNMENT LOT 1; THENCE NORTH 00 DEGREES 03 MINUTES 58 SECONDS EAST, 570.01 FEET ALONG SAID EAST LINE TO A POINT ON THE NORTH LINE OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 34

MINUTES 30 SECONDS WEST, 620.01 FEET ALONG SAID NORTH LINE TO THE NORTHWEST CORNER OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 39 MINUTES 05 SECONDS WEST, 2656.81 FEET ALONG THE SOUTH LINE OF GOVERNMENT LOT 2 OF THE NORTHWEST QUARTER OF SAID SECTION 4 TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 00 DEGREES 16 MINUTES 14 SECONDS WEST, 1308.57 FEET ALONG THE WEST LINE OF SAID GOVERNMENT LOT 2 TO THE NORTHWEST CORNER THEREOF; THENCE SOUTH 89 DEGREES 54 MINUTES 39 SECONDS EAST, 26.56 FEET ALONG THE NORTH LINE OF SAID GOVERNMENT LOT 2 TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL OF LAND:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID GOVERNMENT LOT 2 OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER DOCUMENT NUMBER 981291; THENCE SOUTHEASTERLY 110.53 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 29 DEGREES 29 MINUTES 11 SECONDS EAST, 110.52 FEET TO A POINT OF TANGENCY; THENCE SOUTH 31 DEGREES 02 MINUTES 01 SECONDS EAST, 463.20 FEET ALONG SAID CENTERLINE; THENCE NORTH 21 DEGREES 34 MINUTES 57 SECONDS EAST, 588.56 FEET; THENCE NORTH 35 DEGREES 03 MINUTES 37 SECONDS WEST, 267.00 FEET; THENCE SOUTH 66 DEGREES 08 MINUTES 11 SECONDS WEST, 440.98 FEET TO THE CENTERLINE OF SAID FAIRFIELD ROAD (COUNTY HIGHWAY 49); THENCE SOUTHEASTERLY 105.40 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 26 DEGREES 27 MINUTES 49 SECONDS EAST, 105.39 FEET TO THE POINT OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS.

EXHIBIT "B"

FIFTH AMENDMENT TO ANNEXATION AND DEVELOPMENT AGREEMENT

This FIFTH AMENDMENT TO ANNEXATION AND DEVELOPMENT AGREEMENT (this "Fifth Amendment") is entered into as of May 10, 2023 (the "Effective Date") by and between TOLL IL HWCC, L.P., an Illinois limited partnership ("Toll IL"); M/I Homes of Chicago, LLC, a Delaware limited liability company ("MI"); and the VILLAGE OF HAWTHORN WOODS, an Illinois municipal corporation situated in Lake County, Illinois (the "Village"). Because it joined in the execution of the 2005 Agreement (as hereinafter defined) for the limited purpose of guaranteeing of Toll IL's performance of its obligations under that agreement, Toll Brothers, Inc. ("Toll Brothers") is joining in execution of this Fifth Amendment. Toll IL and Toll Brothers are hereinafter collectively referred to as "Toll". The Village, Toll IL, MI, and Toll Brothers are hereinafter individually referred to as a "Party" and collectively as the "Parties."

RECITALS

- A. The Village, Toll IL, and other parties previously entered into that certain Annexation and Development Agreement recorded in the Office of the Lake County Recorder on May 30, 2003, as Document No. 5251985 (the "Original Agreement"). The Original Agreement was subsequently amended by a First Amendment to Annexation and Development Agreement dated as of October 18, 2004, and recorded in the Office of the Lake County Recorder on November 3, 2004, as Document No. 5675024 (the "First Amendment"), a Second Amendment to Annexation and Development Agreement dated as of March 20, 2006, and recorded in the Office of the Lake County Recorder on August 3, 2007, as Document No. 6222247 (the "Second Amendment"), a Third Amendment to Annexation and Development Agreement dated as of April 2, 2007, and recorded in the Office of the Lake County Recorder on September 27, 2007, as Document No. 6247657 (the "Third Amendment"), and a Fourth Amendment to Annexation and Development Agreement dated as of September 29, 2010, approved by Resolution No 09-29-10-2 but not recorded (the "Fourth Amendment"). The Second Amendment referenced and ratified an additional agreement entered into in 2005 (the "2005 Agreement"). The Original Agreement as modified by the First Amendment, the Second Amendment, the Third Amendment, the Fourth Amendment and the 2005 Agreement are hereinafter the "Amended Agreement."
- B. The real property described in the Original Agreement (the "Property") consists of approximately 674 acres of land located generally in an area bounded by Gilmer Road on the east, Fairfield Road on the west, lying north and south of Schwerman Road, and commonly known as the "Hawthorn Woods Country Club", which is legally described on Exhibit A, attached hereto and incorporated herein.
- C. Toll IL has contracted to sell that portion of the Property consisting of 105 buildable lots (the "Developed Lots") having been previously developed by Toll IL and being legally described in Exhibit B, attached hereto and incorporated herein, to MI. The Developed Lots are listed by lot number, property identification number and address in Exhibit C, attached hereto and incorporated herein. The Developed Lots are depicted in Exhibit D, attached hereto and incorporated herein, which includes the delineation of the lots by series (i.e. Estate Lots, Executive Lots, and Golf Villa Lots).

- D. The Parties now seeks to enter into this Fifth Amendment pursuant to Section 11-15.1-1 et seq. of the Illinois Municipal Code (65 ILCS 5/11-15.1-1 *et seq.*) in order to confirm their respective rights and obligations with respect to Developed Lots and to approve the architecture to be utilized for the construction of new homes on the Developed Lots;
- E. The Parties acknowledge and agree that this Fifth Amendment shall not modify the terms of the Amended Agreement with respect to any portion of the Property other than the Developed Lots.
- F. The Mayor and Board of Trustees of the Village (collectively, the "Corporate Authorities"), after giving all legally required notices and after conducting a public hearing on this Fifth Amendment on April 25, 2022, have concluded that the approval and execution of this Fifth Amendment will promote, enhance and serve the best interests and general welfare of the Village and its citizens.
- G. By a vote of not less than a two-thirds majority of the Corporate Authorities then holding office, the Village has duly adopted an ordinance approving the terms and provisions of this Fifth Amendment and directing the Mayor and Chief Operating Officer to execute this Fifth Amendment on behalf of the Village.

NOW, THEREFORE, in consideration of the mutual covenants, agreement and promises therein contained, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

SECTION 1

RECITALS AND DEFINED TERMS/EFFECT OF FIFTH AMENDMENT AND CONFLICTS/RATIFICATION

- A. Recitals and Defined Terms. The Recitals set forth above constitute a material part of this Fifth Amendment. The Parties hereby confirm the accuracy, truth and validity of said Recitals and do hereby incorporate the same herein as if set forth in their entirety in this Section 1. Capitalized terms that are used but not otherwise defined in this Fifth Amendment shall have the respective meanings ascribed to such terms in the Amended Agreement.
- B. Effect of Fifth Amendment/Conflicts. This Fifth Amendment amends the Amended Agreement. To the extent of any conflict or inconsistency between the terms of the Amended Agreement and this Fifth Amendment, the Fifth Amendment shall supersede and control. Except as set forth in this Fifth Amendment, the Amended Agreement shall remain in full force and effect. From and after the Effective Date of this Fifth Amendment, all references in the Amended Agreement to the "Agreement" or the "Annexation Agreement" shall mean and refer to the Original Agreement, as amended and modified by the First Amendment, 2005 Agreement, Second Amendment, Third Amendment, Fourth Amendment, and Fifth Amendment.

SECTION 2

DEVELOPED LOTS

- A. Toll IL's Development Obligations. The Amended Agreement creates obligations for Toll IL, to among other things, make financial contributions, donate property, obtain permits, and complete construction of both on-site and off-site improvements associated with the development of the Property (the "Toll Development Obligations"). The Parties acknowledge and agree that, except as set forth below with respect to the Building Permit Obligations, Toll IL is not transferring any of

the Toll Development Obligations to MI and that Toll IL shall remain solely and exclusively responsible for all of the Toll Development Obligations as are more specifically identified in the Amended Agreement. To the extent that any Toll Development Obligations have not been completed, the Village hereby agrees to look solely and exclusively to Toll for completion of said obligations. The Village acknowledges and agrees that MI is acquiring the Developed Lots as a builder, not as a developer, and that MI does not assume any obligation as a developer under the Amended Agreement or any other provision of the Village's Municipal Code.

- B. Security for Toll Development Obligations. The Village is holding Improvement Security, pursuant to Section 13(c) of the Original Agreement, to secure outstanding Toll Development Obligations. Toll and the Village hereby agree to audit their respective records and to review the as-built physical condition of secured improvements not previously accepted by the Village for the purpose of reaching an agreed upon punch of list for the completion of the Toll Development Obligations with respect to developed portions of the Property (specifically excluding undeveloped portions of Phase 5 and all of Phase 6). It is agreed by the Parties that undeveloped portions of Phase 5 and Phase 6 shall be subject to applicable requirements of the Amended Agreement and the Village Code, including the completion of public improvements and deposit of security therefore. On or before May 13, 2022, the Village hereby agrees to complete its audit and issue written findings with respect outstanding issues related to the Toll Development Obligations ("Village Report"). On or before June 30, 2022, Toll shall complete its audit and provide a written response to the Village Report ("Toll Report"). Toll and the Village agree to work in good faith to resolve differences between the Village Report and the Toll Report by August 31st, 2022, and the issue a "Final Report" which details the outstanding improvements to be completed under the Toll Development Obligations ("Outstanding Improvements"). In the event that Toll and the Village fail to reach agreement on the terms of a Final Report by August 31, 2022, within 30 days thereafter Toll and the Village shall jointly select a third-party engineer to review the Village Report and the Toll Report and to issue the Final Report. The cost of the third-party engineer and associated issuance of their Final Report shall be divided equally between Toll and the Village. Upon issuance of the Final Report, the Village shall, within thirty days, issue a partial release of the Improvement Security if the cost to complete the Outstanding Improvements is less than the Improvement Security being held by the Village. If the Improvement Security being held by the Village is less than the cost to complete the Outstanding Improvements then Toll shall post additional security (within thirty days), consistent with the provisions of the Amended Agreement, to secure the satisfactory completion of the Outstanding Improvements. Upon issuance of the Final Report, Toll shall have one year to complete the Outstanding Improvements.
- C. Village Issuance of Permits. The Village agrees that it shall not withhold, condition, or otherwise delay the issuance of any building permit or occupancy permit that may be reasonably requested by MI for a Developed Lot based on: i) the incompleteness of one or more of the Toll Development; ii) any dispute between Toll and the Village under Section 2(b) of this Fifth Amendment; or iii) the payment of any fees other than the Building Permit Fees and the Impact Fees (as herein defined). The Village further agrees to issue building permits to MI for the Developed Lots upon: i) the Village's building department having reviewed and approved of architectural drawings consistent with the provision of the Village's Building Code and the Architectural Standards set forth herein; ii) MI's payment of applicable building permit fees as set forth in the Village Code and Section 8(A)(5)(B) of the Amended Agreement (the "Building Permit Fees"); and iii) MI's payment of the

impact fees set forth in Section 8(A)(1) of the Amended Agreement (the "Impact Fees"). The Village agrees to issue temporary occupancy permits for the Developed Lots in the event that certain outdoor improvements (i.e. driveway, sidewalk, landscaping) cannot be completed due to inclement weather.

- D. MI Construction of Homes. MI shall have the right to submit master building plans consistent with the provisions of Section 17A of the Amended Agreement and this Fifth Amendment. Upon the Village's issuance of a building permit for a Developed Lot, MI shall diligently proceed to commence construction of the improvements thereto and shall diligently and continuously work toward completion of the improvements in accordance with the approved permit plans and the Village building permit, which shall expressly include the construction of sidewalk and installation of street trees, as applicable, across the frontage of the Developed Lot for which the building permit was issued (the "Building Permit Obligations").
- E. Recapture. The Village hereby agrees that it shall not approve recapture against any of the Developed Lots. Toll agrees that it shall not seek any recapture against any of the Developed Lots. Notwithstanding the foregoing, the Parties acknowledge that the Settlement Agreement and General Mutual Release by and between the Village, Toll and Aqua Illinois, Inc. ("Settlement Agreement") delineates certain rights and obligations with respect to connections to the WWRR System and Water System (as defined in the Settlement Agreement) serving the Developed Lots. More specifically, Section 9 of the Settlement Agreement provides that: "(i) Toll has existing reservations of sewer and water capacity ... under the Annexation Agreement; (ii) Toll has the absolute right under the Annexation Agreement to connect 189 single family dwelling units to the WWRR System and the Water System without payment of any recapture fees, connection fees or other fees (other than customary and standard usage fees) to either Aqua or the Village; and (iii) neither the Village nor aqua will refuse to allow Toll to connect the 189 dwelling units to the WWRR System or the Water System on the basis that there is insufficient capacity in either system to allow such connections" (each connection being a "Connection Right" and the 189 connections collectively being the "Toll Connection Rights"). Toll and the Village agree that a Connection Right shall be allocated to each of the 105 Developed Lots. Pursuant to separate agreement, Toll shall assign to MI a Connection Right for each Developed Lots acquired by MI. MI shall provide the Village written documentation to evidence assignment of a Connection Right for each Developed Lot as a condition to issuance of a building permit for a Developed Lot. Said written documentation will permit the Village to reasonably track and account for the use and allocation of Toll's Connection Rights as set forth in the Settlement Agreement.

SECTION 3

ARCHITECTURAL & LANDSCAPE APPROVAL

- A. Amendments to Special Use Planned Development. Section 4E of the Original Agreement speaks to the architectural standards for the Property. In light of Toll IL's sale of the Developed Lots to MI, the Parties hereby agree to amend the standards as set forth herein.
- a. Pursuant to Section 9-9A-2 of the Village Code, the regulations set forth in the AO Architectural Overlay District are not applicable to any single-family detached dwelling

use in the R-1 one-family resident district. As such, the Architectural Overlay regulations shall not apply to the Developed Lots.

- b. The Anti-Monotony Standards set forth in Exhibit E (the "Anti-Monotony Standards") are hereby approved. In lieu of Exhibit K to the Original Agreement, the Anti-Monotony Standards shall govern construction on the Developed Lots.
- c. The architectural floor plans (the "Floor Plans") and the building elevations (the "Building Elevations") attached hereto in Exhibit F (the Floor Plans and the Building Elevations are collectively the "MI Plans") are hereby approved. In addition to the Single Family Homes Elevations approved pursuant to Exhibit L to the Original Agreement, the MI Plans are hereby approved for construction on the Developed Lots. Subject to review and approval of the Village Board, and without the requirement to modify the Amended Agreement or this Fifth Amendment, the Village may by resolution and without need for amendment of the Special Use Planned Development: i) approve new floor plans which meet the minimum thresholds set forth in Section 3(A)(d) of this Fifth Amendment; and ii) approve new building Elevations which are consistent with the character and design of the approved Building Elevations.
- d. Exhibit D to the Original Agreement is hereby amended, as to the Developed Lots, as follows:
 - i. Point Homes and Golf Villas (Section I.B.1).
 1. The following Restrictions are hereby terminated:
 - a. Footprints and Minimum Floor Area per Dwelling for single-story homes: 1,500 sq. ft.
 - b. Footprints and Minimum Floor Area per Dwelling for multi-story homes: 1,000 sq. ft. and 2,000 sq. ft respectively.
 2. The following Restrictions are hereby imposed:
 - a. Minimum square footage for a single-story home: 2,225
 - b. Minimum square footage for a multi-story home: 2,892
 - ii. Executive Homes and Estate 120 Homes (Section I.B.2)
 1. The following Restrictions are hereby terminated:
 - a. Footprints and Minimum Floor Area per Dwelling for single-story homes: 1,700 sq. ft.
 - b. Footprints and Minimum Floor Area per Dwelling for multi-story homes: 1,100 sq. ft. and 2,200 sq. ft respectively.
 2. The following Restrictions are hereby imposed:
 - a. Minimum square footage for a single-story home: 2,600
 - b. Minimum square footage for a multi-story home: 2,892
 - iii. Estate Homes (Section I.B.3)
 1. The following Restrictions are hereby terminated:
 - a. Footprints and Minimum Floor Area per Dwelling for single-story homes: 1,700 sq. ft.
 - b. Footprints and Minimum Floor Area per Dwelling for multi-story homes: 1,100 sq. ft. and 2,200 sq. ft respectively.
 2. The following Restrictions are hereby imposed:
 - a. Minimum square footage for a single-story home: Not Permitted

- b. Minimum square footage for a multi-story home: 3,400
 - iv. For purposes of these amendments to Exhibit D of the Original Agreement, the square footage of a home shall be measured consistent with the MI Plans.
- B. Foundation Landscape. The Village hereby approves the MI Homes foundation landscaping plans (the "Foundation Landscape Plan") which are incorporated within the MI Plans attached hereto as Exhibit F. In lieu of any previously approved plan, the Foundation Landscape Plan shall govern foundation plantings on the Developed Lots. The plants depicted on the elevation are representative of an anticipated foundation planting. Foundation plantings shall be required in the front yard of all Developed Lots. Foundation plantings shall be required in the rear yard of a Developed Lot where the rear yard of a Developed Lot immediately abuts the golf course or an existing home in the subdivision. MI may install any combination of plants identified in the "Plant List" on the Foundation Landscape Plan; provided that MI shall install the minimum number of plants scheduled for each "Plant Type" (i.e. 1 Ornamental Tree and 4 Large Shrubs). Based on seasonal availability, MI may substitute plants identified in the plant list provided that the substitute plant is of the same category (i.e. Large Shrub) and is approved by Village staff.

MISCELLANEOUS

- A. Integration. This Fifth Amendment sets forth the entire understanding and agreement of the Parties relative to the subject matter of this Fifth Amendment. All prior discussions, understandings and agreements are expressly merged herein and superseded hereby.
- B. Severability. If any provision of this Fifth Amendment is found to be invalid, illegal or unenforceable by any court of competent jurisdiction, such finding of invalidity, illegality of unenforceability shall not affect the validity, legality or enforceability of any of the remaining provisions of this Fifth Amendment.
- C. Time of Essence. Time is of the essence of this Fifth Amendment and of each and every provision hereof.
- D. Construction. No provision of this Fifth Amendment shall be construed against one Party in favor of another Party because counsel for the former Party may have been principally responsible for the drafting of such provision. The headings used in this Fifth Amendment shall not constitute substantive matter to be considered in construing the provisions of this Fifth Amendment.
- E. Binding Effect. This Fifth Amendment shall be binding upon and shall inure to the benefit of the Parties and their respective successors and assigns.
- F. The Parties acknowledge that as of the time of approval of this Fifth Amendment, MI is a contract purchaser of the Developed Lots. This Fifth Amendment shall not be recorded or become effective until MI acquires title to a Developed Lot. Upon proof of Ownership satisfactory to the Village attorney, the Village shall cause this Fifth Amendment to be recorded. This Fifth Amendment shall become effective upon recording ("Effective Date"). If MI fails to obtain title to a Developed Lot on or before December 1, 2022, this Fifth Amendment shall be deemed null and void having no further force or effect and shall not thereafter be recorded.

IN WITNESS WHEREOF, the Parties have caused this Fifth Amendment to be executed by their duly authorized corporate officers as of the dates set forth below their respective signatures, to be effective as of the Effective Date set forth above.

Signature Pages to Follow

VILLAGE OF HAWTHORN WOODS, an Illinois municipal corporation

By: [Signature]

Dominick DiMaggio, Village Mayor

Attest: [Signature]

Donna Lobaito, Village Clerk

Date of Execution: May 10, 2023

STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that Dominick DiMaggio and Donna Lobaito Village Mayor and Village Clerk, respectively, of the VILLAGE OF HAWTHORN WOODS, and personally known to me to be the same persons whose names are subscribed to the foregoing Fifth Amendment to Annexation and Development Agreement, appeared before me this day in person and severally acknowledged that, as such Village Mayor and Village Clerk, they signed and delivered said Fifth Amendment to Annexation and Development Agreement, pursuant to authority given by the Village Board of said Village, as their free and voluntary act, and as the free and voluntary act and deed of said Village, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 10th day of May, 202~~2~~³.

[Signature]
Notary Public

My Commission Expires: 5/14/23

TOLL IL HWCC, L.P., an Illinois limited partnership

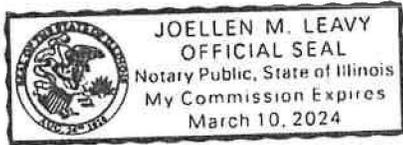
By: [Signature]
Name: Alex Martin
Its: Division President

Date of Execution: 05/05/22

STATE OF ILLINOIS)
)
COUNTY OF LAKE ^{DuPage})

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that Alex Martin, the Division President of the TOLL IL GP CORP., an Illinois Corporation and the General Partner of TOLL IL HWCC, L.P., an Illinois limited partnership, and personally known to me to be the same person whose name is subscribed to the foregoing Fifth Amendment to Annexation and Development Agreement, appeared before me this day in person and acknowledged that he/she signed and delivered said Fifth Amendment to Annexation and Development Agreement as Division President of said corporation, as his/her free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 5th day of May, 2022.



Joellen M. Leavy

Notary Public

My Commission Expires: 3/10/2024

M/I HOMES OF CHICAGO, LLC, a Delaware limited liability company

By:

[Handwritten Signature]
Name: Richard J. Champine
Its: Area President

Date of Execution: 6/2/22

STATE OF IL)
)
COUNTY OF DuPage)

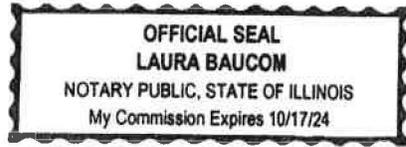
I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that Richard J. Champine, the Area President of M/I HOMES OF CHICAGO, LLC, a Delaware limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing Fifth Amendment to Annexation and Development Agreement, appeared before me this day in person and acknowledged that he/she signed and delivered said Fifth Amendment to Annexation and Development Agreement as Area President of said company, as his/her free and voluntary act, and as the free and voluntary act and deed of said company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 2nd day of June, 2022.

[Handwritten Signature]

Notary Public

My Commission Expires: 10/17/24



TOLL BROTHERS, INC., a Delaware corporation

By: [Signature]

Name: Alex Martin

Its: Division President

Date of Execution: 05/05/22

STATE OF ILLINOIS)

)

COUNTY OF DuPage)
~~LAKE~~

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that Alex Martin, the Division President, of the TOLL BROTHERS, INC., a Delaware corporation, and personally known to me to be the same person whose name is subscribed to the foregoing Fifth Amendment to Annexation and Development Agreement, appeared before me this day in person and acknowledged that he/she signed and delivered said Fifth Amendment to Annexation and Development Agreement as Division President of said corporation, as his/her free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 5th day of May, 2022.



Joellen M. Leavy

Notary Public

My Commission Expires: 3/10/2024

EXHIBIT A
Legal Description of Property (Hawthorn Woods Country Club)

EXHIBIT B
Legal Description of Developed Lots

EXHIBIT C
Developed Lots List of PINS and Addresses

EXHIBIT D
Developed Lots Map

EXHIBIT E
Anti-Monotony Standards

EXHIBIT F
Architectural Plans and Elevations

EXHIBIT A

Legal Description of Property (Hawthorn Woods Country Club)

THAT PART OF THE NORTHWEST QUARTER, THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF THE SOUTHEAST QUARTER OF SECTION 28, AND PART OF SECTION 33 AND PART OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 33, THENCE NORTH 00 DEGREES 05 MINUTES 54 SECONDS EAST, 827.17 FEET (828.3 FEET, DEED) ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 33 TO THE SOUTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 1827397; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 226.39 FEET (225.49 FEET, DEED) ALONG THE SOUTH LINE OF SAID PARCEL TO A POINT ON THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER COUNTY PLATS RECORDED AS DOCUMENT NUMBER 981291 AND DOCUMENT NUMBER 981292; THENCE SOUTHEASTERLY 247.81 FEET (248 FEET DEED) ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 25 DEGREES 06 MINUTES 10 SECONDS EAST, 247.66 FEET; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 527.20 FEET (526.74 FEET, DEED), PARALLEL WITH THE SOUTH LINE OF SAID PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 1827397; THENCE NORTH 02 DEGREES 17 MINUTES 08 SECONDS WEST, 228.28 FEET TO THE SOUTH LINE OF SAID PARCEL OF LAND; THENCE NORTH 87 DEGREES 42 MINUTES 52 SECONDS EAST, 1805.21 FEET ALONG SAID SOUTH LINE TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 25 MINUTES 17 SECONDS WEST, 990.00 FEET ALONG SAID EAST LINE TO THE NORTHEAST CORNER OF SAID PARCEL OF LAND RECORDED AS DOCUMENT NUMBER 1827397; THENCE SOUTH 87 DEGREES 42 MINUTES 52 SECONDS WEST, 865.09 FEET ALONG THE NORTH LINE OF SAID PARCEL OF LAND TO THE SOUTHEAST CORNER OF BITTERSWEET MEADOWS OPEN SPACE SINGLE-FAMILY RESIDENTIAL HOUSE SUBDIVISION RECORDED AS DOCUMENT NUMBER 4498969; THENCE NORTH 00 DEGREES 06 MINUTES 02 SECONDS EAST, 982.79 FEET (981.76 FEET, RECORD) ALONG THE EAST LINE OF SAID BITTERSWEET MEADOW TO A POINT ON THE CENTERLINE OF SCHWERMAN ROAD; THENCE NORTH 75 DEGREES 40 MINUTES 26 SECONDS WEST, 275.37 FEET (275.47 FEET, RECORD) ALONG SAID CENTERLINE TO AN ANGLE POINT; THENCE NORTH 67 DEGREES 00 MINUTES 35 SECONDS WEST, 592.79 FEET ALONG SAID CENTERLINE TO THE SOUTHEAST CORNER OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 2186020; THENCE NORTH 00 DEGREES 09 MINUTES 59 SECONDS WEST, 1606.00 FEET ALONG THE EASTERLY LINE OF SAID PARCEL OF LAND AND AN EASTERLY LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 4930390, TO

A POINT ON A LINE 7.47 CHAINS (493.02 FEET) SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 55 MINUTES 57 SECONDS EAST, 1659.44 FEET ALONG SAID PARALLEL LINE TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 24 MINUTES 20 SECONDS WEST, 388.02 FEET ALONG SAID WEST LINE TO A POINT ON THE SOUTH LINE OF THE NORTH 105.00 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 50 MINUTES 04 SECONDS EAST, 300.00 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF THE WEST 300.00 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 24 MINUTES 20 SECONDS WEST, 105.00 FEET ALONG SAID EAST LINE TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 00 DEGREES 10 MINUTES 30 SECONDS WEST, 650.69 FEET (649.77 FEET, DEED) ALONG A LINE 300.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28 TO A POINT ON THE CENTERLINE OF OWENS ROAD; THENCE NORTH 79 DEGREES 04 MINUTES 32 SECONDS EAST, 460.41 FEET ALONG SAID CENTERLINE; THENCE NORTH 43 DEGREES 33 MINUTES 37 SECONDS EAST, 275.52 FEET ALONG SAID CENTERLINE TO A POINT OF INTERSECTION WITH A LINE 371.22 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE NORTH 44 DEGREES 10 MINUTES 15 SECONDS EAST, 530.98 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28; THENCE SOUTH 00 DEGREES 11 MINUTES 09 SECONDS EAST, 676.00 FEET ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 28 TO THE SOUTH LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 4134934; THENCE NORTH 89 DEGREES 50 MINUTES 04 SECONDS EAST, 868.82 FEET ALONG SAID SOUTH LINE; THENCE NORTH 62 DEGREES 11 MINUTES 21 SECONDS EAST, 339.24 FEET (339.27 FEET DEED) ALONG A SOUTHEASTERLY LINE OF SAID PARCEL TO A POINT ON THE CENTERLINE OF GILMER ROAD (COUNTY HIGHWAY 26) PER HIGHWAY PLAT RECORDED AS DOCUMENT NUMBER 446774 AND DOCUMENT NUMBER 446775; THENCE SOUTHEASTERLY 306.31 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 65,317.20 FEET AND A CHORD BEARING SOUTH 28 DEGREES 22 MINUTES 49 SECONDS EAST, 306.31 FEET TO A POINT ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE SOUTH 00 DEGREES 11 MINUTES 48 SECONDS EAST, 527.02 FEET (532.63 FEET, DEED) ALONG THE SAID EAST LINE TO THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 28; THENCE NORTH 89 DEGREES 59 MINUTES 44 SECONDS EAST, 278.22 FEET (278.00 FEET, DEED) ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 34 TO A POINT ON SAID CENTERLINE OF GILMER ROAD (COUNTY HIGHWAY 26); THENCE SOUTH 27 DEGREES 43 MINUTES 45 SECONDS EAST, 1743.73 FEET ALONG SAID CENTERLINE TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY 418.89 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A

CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 114,592.00 FEET AND A CHORD BEARING SOUTH 27 DEGREES 50 MINUTES 02 SECONDS EAST, 418.88 FEET TO A POINT ON THE NORTH LINE OF A PARCEL OF LAND DESCRIBED IN A DEED RECORDED AS DOCUMENT NUMBER 665568; THENCE NORTH 89 DEGREES 45 MINUTES 23 SECONDS WEST, 377.05 FEET (406.95 FEET, DEED) ALONG SAID NORTH LINE TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE SOUTH 00 DEGREES 10 MINUTES 34 SECONDS WEST, 731.12 FEET (731.15 FEET, DEED) ALONG THE WEST LINE OF SAID PARCEL TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 34; THENCE NORTH 89 DEGREES 49 MINUTES 26 SECONDS WEST, 875.36 FEET (875.53 FEET, DEED) ALONG SAID SOUTH LINE TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 34; THENCE SOUTH 89 DEGREES 53 MINUTES 36 SECONDS WEST, 1395.65 FEET (1395.94 FEET, RECORD) ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 TO THE NORTHWEST CORNER OF LAKE LORRAINE ESTATES UNIT ONE RECORDED AS DOCUMENT NUMBER 2634403; THENCE SOUTHERLY AND EASTERLY ALONG THE BOUNDARY OF SAID LAKE LORRAINE ESTATES UNIT ONE THE FOLLOWING 19 COURSES:

THENCE SOUTH 00 DEGREES 06 MINUTES 24 SECONDS EAST, 40.00 FEET; THENCE SOUTH 21 DEGREES 44 MINUTES 50 SECONDS EAST, 74.87 FEET (75.00 FEET, RECORD); THENCE SOUTH 43 DEGREES 26 MINUTES 18 SECONDS EAST, 120.00 FEET; THENCE SOUTH 22 DEGREES 22 MINUTES 18 SECONDS EAST, 80.00 FEET; THENCE SOUTH 04 DEGREES 45 MINUTES 22 SECONDS EAST, 80.10 FEET; THENCE SOUTH 21 DEGREES 28 MINUTES 02 SECONDS WEST, 709.67 FEET (712.24 FEET, RECORD); THENCE SOUTH 24 DEGREES 41 MINUTES 04 SECONDS EAST, 300.00 FEET; THENCE NORTH 89 DEGREES 44 MINUTES 45 SECONDS EAST, 280.00 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 04 SECONDS EAST, 222.00 FEET; THENCE NORTH 89 DEGREES 47 MINUTES 54 SECONDS EAST, 170.00 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY 37.21 FEET (37.42 FEET, RECORD) ALONG THE ARC OF A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 299.53 FEET, A CHORD BEARING NORTH 86 DEGREES 14 MINUTES 22 SECONDS EAST, AND A CHORD DISTANCE OF 37.19 FEET; THENCE SOUTH 26 DEGREES 04 MINUTES 35 SECONDS EAST, 267.29 FEET (267.70 FEET, RECORD); THENCE NORTH 89 DEGREES 12 MINUTES 11 SECONDS WEST, 38.76 FEET; THENCE SOUTH 00 DEGREES 23 MINUTES 01 SECONDS WEST, 291.00 FEET; THENCE SOUTH 89 DEGREES 38 MINUTES 51 SECONDS EAST, 149.16 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY 25.64 FEET (25.59 FEET, RECORD) ALONG THE ARC OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 15.00 FEET, A CHORD BEARING SOUTH 40 DEGREES 40 MINUTES 16 SECONDS EAST, AND A CHORD DISTANCE OF 22.63 FEET TO A POINT OF TANGENCY; THENCE SOUTH 08 DEGREES 18 MINUTES 18 SECONDS WEST, 59.38 FEET; THENCE SOUTH 81 DEGREES 27 MINUTES 58 SECONDS EAST, 439.65 FEET (440.00 FEET, RECORD); THENCE NORTH 73 DEGREES 35 MINUTES 09 SECONDS EAST, 256.08 FEET (256.42 FEET, RECORD) TO THE SOUTHEAST CORNER OF SAID LAKE LORRAINE ESTATES UNIT ONE, SAID POINT BEING ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 33;

THENCE SOUTH 00 DEGREES 29 MINUTES 33 SECONDS EAST, 542.38 FEET ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 33; THENCE NORTH 89 DEGREES 55 MINUTES 29 SECONDS WEST, 470.37 FEET ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER TO THE WEST LINE OF THE EAST 450.00 FEET OF THE NORTHEAST QUARTER OF SAID SECTION 4, ACCORDING TO A DEED RECORDED MAY 30, 1990 AS DOCUMENT NUMBER 2909469; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 230.92 FEET ALONG SAID WEST LINE TO A NORTH LINE OF A PARCEL OF LAND DESCRIBED IN SAID DEED RECORDED MAY 30, 1990 AS DOCUMENT NUMBER 2909469; THENCE NORTH 89 DEGREES 55 MINUTES 29 SECONDS WEST, 1405.62 FEET ALONG SAID NORTH LINE TO A WEST LINE THEREOF; THENCE SOUTH 02 DEGREES 13 MINUTES 24 SECONDS EAST, 1095.61 FEET ALONG SAID WEST LINE TO A POINT ON A SOUTH LINE THEREOF, SAID POINT ALSO BEING ON THE NORTH LINE OF GOVERNMENT LOT 1 OF THE NORTHEAST QUARTER OF SAID SECTION 4; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 1799.85 FEET ALONG SAID NORTH LINE TO A POINT ON A LINE THAT IS 8.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID GOVERNMENT LOT 1; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 693.00 FEET ALONG SAID PARALLEL LINE TO A POINT ON THE SOUTH LINE OF THE NORTH 693.00 FEET OF SAID GOVERNMENT LOT 1; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 8.00 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF SAID GOVERNMENT LOT 1; THENCE SOUTH 00 DEGREES 16 MINUTES 32 SECONDS WEST, 627.99 FEET ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 37 MINUTES 08 SECONDS WEST, 2636.65 FEET ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 1 TO THE CENTER OF SAID SECTION 4; THENCE SOUTH 00 DEGREES 05 MINUTES 41 SECONDS EAST, 349.00 FEET ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4 TO A POINT ON THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER HIGHWAY PLAT RECORDED AS DOCUMENT NUMBER 911716; THENCE NORTH 52 DEGREES 01 MINUTES 58 SECONDS WEST, 63.90 FEET ALONG SAID CENTERLINE TO A POINT OF CURVATURE; THENCE NORTHWESTERLY 623.99 FEET ALONG SAID CENTERLINE PER HIGHWAY PLATS RECORDED AS DOCUMENT NUMBER 911716 AND DOCUMENT NUMBER 981291, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2864.93 FEET AND A CHORD BEARING NORTH 45 DEGREES 47 MINUTES 35 SECONDS WEST, 622.76 FEET; THENCE NORTH 52 DEGREES 49 MINUTES 27 SECONDS EAST, 623.48 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 4; THENCE NORTH 00 DEGREES 03 MINUTES 58 SECONDS EAST, 251.73 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF THE NORTH 570.00 FEET OF GOVERNMENT LOT 1 OF THE NORTHEAST QUARTER OF SAID SECTION 4; THENCE SOUTH 89 DEGREES 34 MINUTES 30 SECONDS EAST, 620.01 FEET ALONG SAID SOUTH LINE TO A POINT ON THE EAST LINE OF THE WEST 620.00 FEET OF SAID GOVERNMENT LOT 1; THENCE NORTH 00 DEGREES 03 MINUTES 58 SECONDS EAST, 570.01 FEET ALONG SAID EAST LINE TO A POINT ON THE NORTH LINE OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 34

MINUTES 30 SECONDS WEST, 620.01 FEET ALONG SAID NORTH LINE TO THE NORTHWEST CORNER OF SAID GOVERNMENT LOT 1; THENCE NORTH 89 DEGREES 39 MINUTES 05 SECONDS WEST, 2656.81 FEET ALONG THE SOUTH LINE OF GOVERNMENT LOT 2 OF THE NORTHWEST QUARTER OF SAID SECTION 4 TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 00 DEGREES 16 MINUTES 14 SECONDS WEST, 1308.57 FEET ALONG THE WEST LINE OF SAID GOVERNMENT LOT 2 TO THE NORTHWEST CORNER THEREOF; THENCE SOUTH 89 DEGREES 54 MINUTES 39 SECONDS EAST, 26.56 FEET ALONG THE NORTH LINE OF SAID GOVERNMENT LOT 2 TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL OF LAND:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID GOVERNMENT LOT 2 OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THE CENTERLINE OF FAIRFIELD ROAD (COUNTY HIGHWAY 49) PER DOCUMENT NUMBER 981291; THENCE SOUTHEASTERLY 110.53 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 29 DEGREES 29 MINUTES 11 SECONDS EAST, 110.52 FEET TO A POINT OF TANGENCY; THENCE SOUTH 31 DEGREES 02 MINUTES 01 SECONDS EAST, 463.20 FEET ALONG SAID CENTERLINE; THENCE NORTH 21 DEGREES 34 MINUTES 57 SECONDS EAST, 588.56 FEET; THENCE NORTH 35 DEGREES 03 MINUTES 37 SECONDS WEST, 267.00 FEET; THENCE SOUTH 66 DEGREES 08 MINUTES 11 SECONDS WEST, 440.98 FEET TO THE CENTERLINE OF SAID FAIRFIELD ROAD (COUNTY HIGHWAY 49); THENCE SOUTHEASTERLY 105.40 FEET ALONG SAID CENTERLINE, BEING THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2046.48 FEET AND A CHORD BEARING SOUTH 26 DEGREES 27 MINUTES 49 SECONDS EAST, 105.39 FEET TO THE POINT OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS.

EXHIBIT B

Legal Description of Developed Lots

PARCEL 1:

LOTS 27, 52, 96, 100, 101, 104, 105, 106, 107, 108, 109 AND 110 IN HAWTHORN WOODS COUNTRY CLUB PHASE 1, BEING A SUBDIVISION OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 30, 2004 AS DOCUMENT 5613059 AND CERTIFICATE OF CORRECTION RECORDED OCTOBER 13, 2004 AS DOCUMENT 5662935 AND CERTIFICATE OF CORRECTION RECORDED DECEMBER 17, 2004 AS DOCUMENT 5702346, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:

LOTS 324, 326, 327, 359, 378, 379, 387 AND 391 IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 23, 2005 AS DOCUMENT 5804408 IN LAKE COUNTY, ILLINOIS.

PARCEL 3:

LOTS 275, 276, 277, 279, 281, 287, 290, 294, 472, 475 AND 476 IN HAWTHORN WOODS COUNTRY CLUB PHASE 3, BEING A SUBDIVISION OF OUTLOT AA, OUTLOT BB, OUTLOT CC, OUTLOT HH AND OUTLOT KK IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 26, 2005 AS DOCUMENT 5883372 AND CERTIFICATE OF CORRECTION RECORDED NOVEMBER 2, 2005 AS DOCUMENT 5888575, IN LAKE COUNTY, ILLINOIS.

PARCEL 4:

LOTS 208, 209, 210, 211, 213, 214, 215, 216, 218, 219, 221, 222, 229, 231, 234, 235, 237, 239, 240, 241, 242, 243, 244, 245, 246, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 361, 369, 371, 372, 375 AND 376 IN HAWTHORN WOODS COUNTRY CLUB PHASE 4, BEING A RESUBDIVISION OF OUTLOT DD, OUTLOT EE AND OUTLOT II IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 5, 2006 AS DOCUMENT 5925443, IN LAKE COUNTY, ILLINOIS.

PARCEL 5:

LOTS 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 64, 65, 66, 67, 68, 71, 72 AND 73 IN HAWTHORN WOODS COUNTRY CLUB PHASE 5, BEING A RESUBDIVISION OF OUTLOT GG AND OUTLOT JJ IN HAWTHORN WOODS COUNTRY CLUB PHASE 2, BEING A SUBDIVISION IN PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 10 AND PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 10 AND PART OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 26, 2008 AS DOCUMENT 6323454, IN LAKE COUNTY, ILLINOIS.

EXHIBIT C
Developed Lots List of PINS and Addresses

Lot #	PIN	Address
27	10-33-405-107	11 Somerset Hills Ct., Hawthorn Woods, IL 60047
	10-33-405-117	
39	14-04-201-068	4 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-118	
40	14-04-201-069	6 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-119	
41	14-04-201-070	8 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-120	
42	14-04-201-071	10 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-121	
43	14-04-201-072	12 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-122	
44	14-04-201-073	14 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-123	
45	14-04-201-074	16 Crystal Downs Dr., Hawthorn Woods, IL 60047
	10-33-405-124	
46	14-04-201-075	18 Crystal Downs Dr., Hawthorn Woods, IL 60047
47	10-33-405-128	20 Crystal Downs Dr., Hawthorn Woods, IL 60047
48	10-33-405-127	24 Crystal Downs Dr., Hawthorn Woods, IL 60047
49	10-33-405-126	26 Crystal Downs Dr., Hawthorn Woods, IL 60047
50	10-33-405-125	28 Crystal Downs Dr., Hawthorn Woods, IL 60047
52	14-04-201-053	0 Tournament Dr., E, Hawthorn Woods, IL 60047
53	10-33-405-132	4 Oakland Hills Ct., Hawthorn Woods, IL 60047
54	10-33-405-133	6 Oakland Hills Ct., Hawthorn Woods, IL 60047
55	10-33-405-134	8 Oakland Hills Ct., Hawthorn Woods, IL 60047
56	10-33-405-135	12 Oakland Hills Ct., Hawthorn Woods, IL 60047
57	10-33-405-136	11 Oakland Hills Ct., Hawthorn Woods, IL 60047
58	10-33-405-141	9 Oakland Hills Ct., Hawthorn Woods, IL 60047
59	10-33-405-140	7 Oakland Hills Ct., Hawthorn Woods, IL 60047
60	10-33-405-139	5 Oakland Hills Ct., Hawthorn Woods, IL 60047
61	10-33-405-138	3 Oakland Hills Ct., Hawthorn Woods, IL 60047
62	10-33-405-137	1 Oakland Hills Ct., Hawthorn Woods, IL 60047
64	14-04-201-086	21 Crystal Downs Dr., Hawthorn Woods, IL 60047
65	14-04-201-085	19 Crystal Downs Dr., Hawthorn Woods, IL 60047
66	14-04-201-084	17 Crystal Downs Dr., Hawthorn Woods, IL 60047
67	14-04-201-083	15 Crystal Downs Dr., Hawthorn Woods, IL 60047
68	14-04-201-082	13 Crystal Downs Dr., Hawthorn Woods, IL 60047
71	14-04-201-079	7 Crystal Downs Dr., Hawthorn Woods, IL 60047
72	14-04-201-078	5 Crystal Downs Dr., Hawthorn Woods, IL 60047
73	14-04-201-077	3 Crystal Downs Dr., Hawthorn Woods, IL 60047
96	14-04-201-038	96 Tournament Dr. S, Hawthorn Woods, IL 60047
100	14-04-201-042	108 Tournament Dr. E, Hawthorn Woods, IL 60047
101	14-04-201-043	110 Tournament Dr. E, Hawthorn Woods, IL 60047
104	14-04-201-046	116 Tournament Dr. E, Hawthorn Woods, IL 60047
105	14-04-201-047	118 Tournament Dr. E, Hawthorn Woods, IL 60047
106	14-04-201-048	120 Tournament Dr. E, Hawthorn Woods, IL 60047

107	14-04-201-049	122 Tournament Dr. E, Hawthorn Woods, IL 60047
108	14-04-201-050	124 Tournament Dr. E, Hawthorn Woods, IL 60047
109	14-04-201-051	126 Tournament Dr. E, Hawthorn Woods, IL 60047
110	14-04-201-052	128 Tournament Dr., E, Hawthorn Woods, IL 60047
208	10-33-303-048	17 Open Pkwy N, Hawthorn Woods, IL 60047
209	10-33-303-047	19 Open Pkwy N, Hawthorn Woods, IL 60047
210	10-33-303-046	21 Open Pkwy N, Hawthorn Woods, IL 60047
211	10-33-303-045	23 Open Pkwy N, Hawthorn Woods, IL 60047
213	10-33-303-043	27 Open Pkwy N, Hawthorn Woods, IL 60047
214	10-33-303-042	29 Open Pkwy N, Hawthorn Woods, IL 60047
215	10-33-303-041	31 Open Pkwy N, Hawthorn Woods, IL 60047
216	10-33-303-040	33 Open Pkwy N, Hawthorn Woods, IL 60047
218	10-33-303-038	37 Open Pkwy N, Hawthorn Woods, IL 60047
219	10-33-303-037	39 Open Pkwy N, Hawthorn Woods, IL 60047
221	10-33-303-035	43 Open Pkwy N, Hawthorn Woods, IL 60047
222	10-33-303-034	45 Open Pkwy N, Hawthorn Woods, IL 60047
229	14-04-104-037	59 Open Pkwy N, Hawthorn Woods, IL 60047
231	14-04-104-039	63 Open Pkwy N, Hawthorn Woods, IL 60047
234	10-33-303-028	44 Open Pkwy N, Hawthorn Woods, IL 60047
235	10-33-303-029	42 Open Pkwy N., Hawthorn Woods, IL 60047
237	10-33-303-031	1 Glen Club Ct., Hawthorn Woods, IL 60047
239	10-33-303-026	5 Glen Club Ct., Hawthorn Woods, IL 60047
240	10-33-303-025	7 Glen Club Ct., Hawthorn Woods, IL 60047
241	10-33-303-024	9 Glen Club Ct., Hawthorn Woods, IL 60047
242	10-33-303-023	11 Glen Club Ct., Hawthorn Woods, IL 60047
243	10-33-303-022	13 Glen Club Ct., Hawthorn Woods, IL 60047
244	10-33-303-020	14 Glen Club Ct., Hawthorn Woods, IL 60047
245	10-33-303-005	12 Glen Club Ct., Hawthorn Woods, IL 60047
246	10-33-303-006	10 Glen Club Ct., Hawthorn Woods, IL 60047
248	10-33-303-008	6 Glen Club Ct., Hawthorn Woods, IL 60047
249	10-33-303-009	4 Glen Club Ct., Hawthorn Woods, IL 60047
250	10-33-303-010	2 Glen Club Ct., Hawthorn Woods, IL 60047
251	10-33-303-011	34 Open Pkwy N, Hawthorn Woods, IL 60047
252	10-33-303-012	32 Open Pkwy N, Hawthorn Woods, IL 60047
253	10-33-303-013	30 Open Pkwy N, Hawthorn Woods, IL 60047
254	10-33-303-014	28 Open Pkwy N, Hawthorn Woods, IL 60047
255	10-33-303-015	26 Open Pkwy N, Hawthorn Woods, IL 60047
256	10-33-303-016	24 Open Pkwy N, Hawthorn Woods, IL 60047
257	10-33-303-017	22 Open Pkwy N, Hawthorn Woods, IL 60047
258	10-33-303-018	20 Open Pkwy N, Hawthorn Woods, IL 60047
259	10-33-303-019	18 Open Pkwy N, Hawthorn Woods, IL 60047
260	10-33-405-115	16 Open Pkwy N, Hawthorn Woods, IL 60047
275	10-33-202-029	9 Briar Creek Dr., Hawthorn Woods, IL 60047
276	10-33-202-030	11 Briar Creek Dr., Hawthorn Woods, IL 60047
277	10-34-102-027	13 Briar Creek Dr., Hawthorn Woods, IL 60047
279	10-34-102-029	17 Briar Creek Dr., Hawthorn Woods, IL 60047
281	10-34-102-031	21 Briar Creek Dr., Hawthorn Woods, IL 60047

287	10-34-102-019	18 Briar Creek Dr., Hawthorn Woods, IL 60047
290	10-34-102-018	12 Whisper Creek Ct., Hawthorn Woods, IL 60047
294	10-33-202-023	4 Briar Creek Dr., Hawthorn Woods, IL 60047
324	10-33-104-023	9 Tournament Dr. N, Hawthorn Woods, IL 60047
326	10-33-104-021	13 Tournament Dr. N, Hawthorn Woods, IL 60047
327	10-33-104-020	15 Tournament Dr., N, Hawthorn Woods, IL 60047
359	10-33-201-062	24 Tournament Dr. N, Hawthorn Woods, IL 60047
361	10-33-201-136	2 Prairie Landings Ct., Hawthorn Woods, IL 60047
369	10-33-201-139	3 Prairie Landings Ct., Hawthorn Woods, IL 60047
371	10-33-201-144	7 Olympia Fields, Hawthorn Woods, IL 60047
372	10-33-201-145	9 Olympia Fields, Hawthorn Woods, IL 60047
375	10-33-201-146	6 Olympia Fields, Hawthorn Woods, IL 60047
376	10-33-201-138	4 Olympic Field Ct., Hawthorn Woods, IL 60047
378	10-33-201-065	30 Tournament Dr. N, Hawthorn Woods, IL 60047
379	10-33-201-066	32 Tournament Dr. N, Hawthorn Woods, IL 60047
387	10-33-201-125	72 Tournament Dr. N, Hawthorn Woods, IL 60047
391	10-33-201-129	80 Tournament Dr. N, Hawthorn Woods, IL 60047
472	10-28-405-048	17 Twin Eagles Ct., Hawthorn Woods, IL 60047
475	10-28-405-051	11 Twin Eagles Ct., Hawthorn Woods, IL 60047
476	10-28-405-052	9 Twin Eagles Ct., Hawthorn Woods, IL 60047

EXHIBIT D
Developed Lots Map

EXHIBIT E
Anti-Monotony Standards

EXHIBIT F
Architectural Plans and Elevations



Hawthorn Woods Country Club



-  26 ESTATE LOTS *
-  71 EXECUTIVE LOTS
-  14 GOLF VILLA LOTS
-  OCCUPIED HOME

Exhibit "E"



LEGEND

-  LOTS
-  SOLD HOME
-  SHALL NOT BE SAME MODEL AND ELEVATION AS SOLD HOME
-  SOLD HOME
-  SHALL NOT BE SAME MODEL AND ELEVATION AS SOLD HOME

Exhibit "F"



**M/I Homes Architecture Booklet &
Foundation Landscaping**

1/14/22

Model Name	Plan Type	Bedrooms	SqFT	Garage
Sumner (side load)	Two-Story	4-5	4001	3
Stockton	Two-Story	4-5	3816	3
Stockton (side load)	Two-Story	4-5	3816	3
Sumner	Two-Story	4-5	3405-3887	3
Stanley (side load)	Two-Story	4-5	3334 – 3473	3
Stanley	Two-Story	4-5	3334 - 3473	3
Lyndale	Two-Story	4-5	3360 - 3505	3
Hudson	Two-Story	4-5	3163 - 3831	3
Hudson (side load)	Two-Story	4-5	3163 - 3831	3
Fairbanks	Two-Story	4-5	3001 - 3262	3
Essex	Two-Story	4-6	3044	3
Eastman	Two-Story	4	2892	3
Elbridge	Ranch	2-3	2225 - 2443	3

Sumner
(Side Load Garage)
4001 s.f.

Color Collection 10

Lap Siding	Hardie® - Park Lap Siding
Shake Siding	Hardie® - Shake Siding
Exterior Trim	LP - Smart-Tim S14
Shutters	Wylly - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eder's Varden - Oakfield Machine Cut Veneer
Gutters	5" Aluminum K Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 SDD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Wylly - Low E Insulated 33 Lr Value



Front Elevation

Sumner
Craftsman


M/I HOMES
 Welcome to Better
 M/I Homes of Chicago
 01.10.22



Left Elevation



Rear Elevation



Right Elevation

Sumner Craftsman

Color Collection 8

Lap Siding	Hardie® Plank Lap Siding
Vertical Siding	Hardie® Panel Vertical Siding
Exterior Trim	18" Smart Trim S14
Shutters	Vinyl Decorative
Columns & Posts	Vinyl Aluminum
Roofing	Laminated Architectural Shingles
Stone	Edens Vaiden - Oakfield Machine Cut Veneer
Brick	Standard Modular
Gutters	5" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	Polyclear Insulated - Style per Elevation
Patio Door	60x80 100 w/ Transom
Garage Door	24x8 Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Sumner
English Country



Left Elevation



Rear Elevation



Right Elevation

Sumner
English Country



M/I HOMES

Welcome to Better
M/I Homes of Chicago
01.10.22

Color Collection 17

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Park Vertical Siding
Exterior Trim	UP - Smart Trim S4
Shutters	W/ill - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Varden - Oakfield Machine Cut Veneer
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6245 SCD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/ill - Low E Insulated 33 U-Value



Front Elevation

Sumner Urban Farmhouse



Left Elevation



Rear Elevation



Right Elevation

Summer Urban Farmhouse

Color Collection 7

Lap Siding	Hardie® - Plank Lap Siding
Exterior Trim	UP - Jangle Rose SJA
Shutters	W/pt - Decorative
Gutters & Fascia	W/pt - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum II Style
Down Spouts	2 1/2" Aluminum
Entry Door	Fiberglass Insulated - 31yre per Elevation
Patio Door	6038 CGD w/ Transom
Garage Door	Steel Insulated - 31yre per Elevation
Windows	W/pt - Low E Insulated 33 C-Value



Front Elevation

Sumner
Prairie


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Left Elevation



Rear Elevation



Right Elevation

Sumner Prairie

Color Collection 3

Lan Siding	Hardie® - Park Lap Siding
Exterior Trim	UP - Smart Trim 2x4
Shutters	White - Decorative
Roofing & Fascia	White / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum 1-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 1-Style per Elevation
Patio Door	60x80 SDD w/ Transom
Garage Door	Steel Insulated - 1-Style per Elevation
Windows	Vinyl - Low E Insulated 33 LxVxH



Front Elevation

Sumner
Traditional


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Left Elevation



Rear Elevation



Right Elevation

Sumner
Traditional

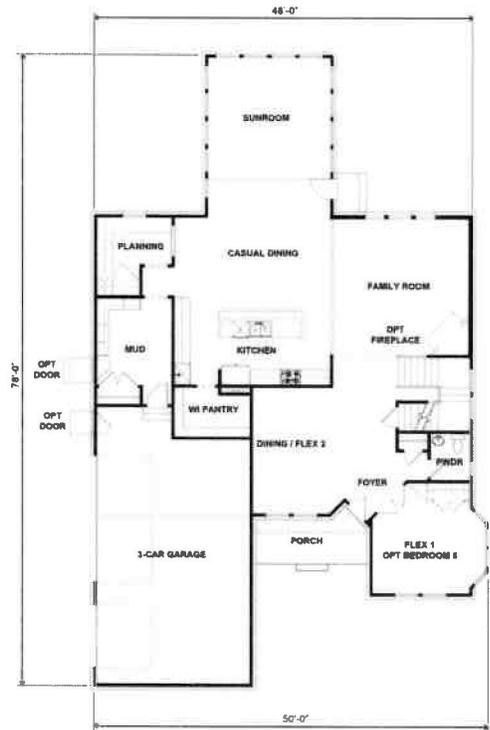

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Plan Options



Upper Floor Plan



Main Floor Plan

Sumner

Color Collection 10

Lead Siding	Hardie® Plank Lead Siding
Shake Siding	Hardie® Shake Siding
Exterior Trim	LP Smart Trim S/4
Shutters	White Decorative
Ballfin & Fascia	White Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Valdens - Oakfield Machine Cut Veneer
Columns	2" Aluminum K Style
Down Spouts	2 1/2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Ratio Door	488 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl Low E Insulated 33 U-Value



Front Elevation

Sumner
Craftsman


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Left Elevation



Rear Elevation



Right Elevation

**Sumner
Craftsman**

REAR YARD PLANT LIST- GOLF COURSE LOT

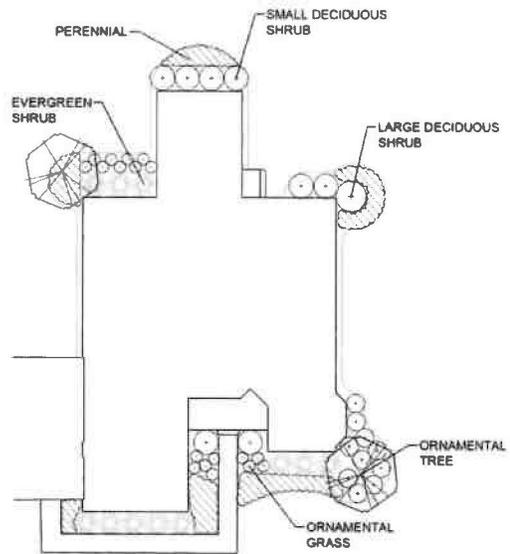
QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (9" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[6]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS	KARL FOERSTER GRASS BLUE OAT GRASS
[50]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (9" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS	KARL FOERSTER GRASS BLUE OAT GRASS
[28]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKER'S LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Sumner

Stockton

3816 s.f.

Color Collection 7

Lac Siding	Hardie® - Park Lac Siding
Exterior Trim	UP - Smart Trim S14
Shutters	W/pt - Decorative
Soffit & Fascia	W/pt - Aluminum
Roofing	Laminated - Architecturalingles
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x8 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Stockton
Arts and Crafts


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Rear Elevation



Left Elevation



Right Elevation

Stockton
Arts and Crafts


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Color Collection 1

Lap Siding	Hardie® - Park Lap Siding
Shake Siding	Hardie® - Single Siding
Exterior Trim	LP - Smart Trim 5/8"
Shutters	White - Decorative
Columns & Fascia	White - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden L Voids - Oakfield Machine Cut Veneer
Gutters	5" Aluminum - E Style
Down Spouts	2 1/2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6265 SCD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	White - Low E Insulated 33 U-Value



Front Elevation

**Stockton
Craftsman**


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Rear Elevation



Left Elevation



Right Elevation

Stockton
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Color Collection 16

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Park Vertical Siding
Exterior Trim	UP - Smart Trim S/A
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Brick	Standard Modular
Gutters	3" Aluminum K-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6055 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33"-x-48"



Front Elevation

Stockton
Low Country


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Rear Elevation



Left Elevation



Right Elevation

Stockton
Low Country


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Color Collection 12

Lot Siding	Hardie® - Park Lane Siding
Exterior Trim	UP - Smart-Tone S14
Shutters	W/Blk - Decorative
Doors & Sashes	W/Blk / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Columns	5" Aluminum / Stone
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 3 1/2" per Elevation
Front Door	6065 SGG w/ Transoms
Garage Door	Steel Insulated - 3 1/2" per Elevation
Windows	W/Blk-Low E Insulated 33 or 40Ave



Front Elevation

Stockton
Manor


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Rear Elevation

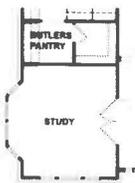


Left Elevation



Right Elevation

Stockton
Manor



Study w/ Butlers Pantry



Study



Guest Room



Bedroom 4 w/ Bath



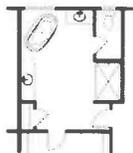
Pocket Office



Bedroom 5



Walk-in Shower



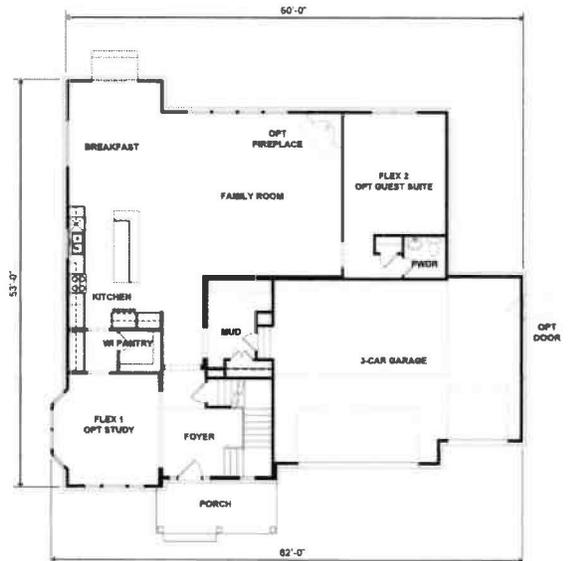
Luxury Bath



Jack / Jill Bath



Upper Floor Plan



Main Floor Plan

Plan Options

Stockton



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Color Collection 7

Lap Siding	Hardwax - Park Lap Siding
Exterior Trim	UP - Smart Trim 5/8
Shutters	White - Decorative
Deck & Fascia	White - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5 - Aluminum Style
Down Spouts	2 1/2" - Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6068 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	White - Low E Insulated 33 U-Value



Front Elevation

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Arts and Crafts


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Rear Elevation



Left Elevation



Right Elevation

Stockton
Arts and Crafts

REAR YARD PLANT LIST- GOLF COURSE LOT

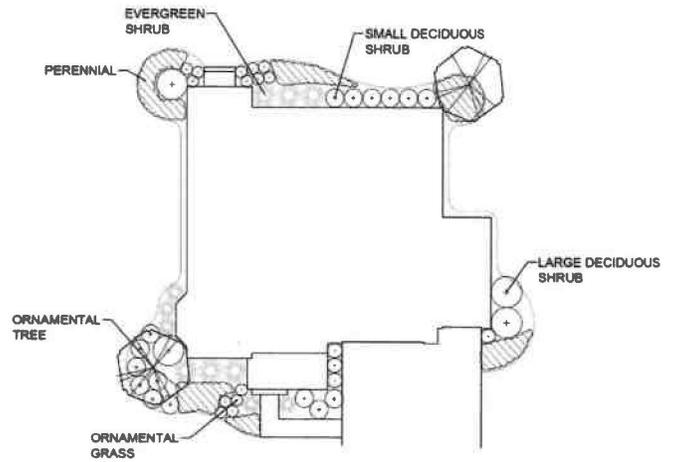
QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES: (6' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[6]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPICE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[60]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES: (6' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* CORNELLANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPICE* DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[28]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Stockton

Color Collection 7

Lead Siding	Hardie® - Faux Log Siding
Exterior Trim	UP - Jumbo Oak S14
Shutters	Wipe - Decorative
Columns & Posts	Wipe / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Columns	6" Aluminum II Style
Deck Details	2" x 2" Aluminum
Entry Door	Fiberglass Insulated - 1 Style per Elevation
Front Door	4x6 SGG w/ Transom
Garage Door	Steel Insulated - 1 Style per Elevation
Windows	Wipe - Low E Insulated 33 U Value



Front Elevation

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Arts and Crafts


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Rear Elevation



Left Elevation



Right Elevation

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Arts and Crafts


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Color Collection 1

Lap Siding	Hardie® Plank Lap Siding
Shake Siding	Hardie® Shingle Siding
Exterior Trim	LP® Smart-Tek S14
Shutters	Vinyl - Decorative
Gable & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Block	Standard Modular
Stone	Eden's Varden - Oakfield Machine Cut Veneer
Columns	2" Aluminum K Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - 17 lbs per Elevator
Patio Door	6565 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Stockton
Craftsman


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Rear Elevation



Left Elevation



Right Elevation

Stockton
Craftsman


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Color Collection 16

Cas Siding	Hardie® - Plank Lap Siding
Vertical Siding	Hardie® - Plank Vertical Siding
Exterior Trim	UP - Smart Trim S/S
Shutters	W/Bl - Decorative
Staff & Fascia	W/Bl - Aluminum
Roofing	Laminated - Architectural Shingles
Stone	Eden's Valdes - Oakfield Machine Cut Veneer
Brick	Standard Modular
Gutters	5" Aluminum K-Style
Down Spouts	2" x 3" Aluminum
Entry Door	FiberGlas Insulated - Style per Elevation
Patio Door	6265 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/Bl - Low E Insulated, 33 U-Value



Front Elevation

Stockton
Low Country


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Rear Elevation



Left Elevation



Right Elevation

Stockton
Low Country

Color Collection 12

Lac Siding	Horseshoe Park Lac Siding
Exterior Trim	UP - SmartSide 214
Shutters	Weyl - Decorative
Effit & Fascia	Weyl / Aluminum
Roofing	Laminated - Architecturalingles
Brick	Standard Modular
Gutters	5" Aluminum F-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fireglass Insulated - 5/8" per Elevation
Patio Door	6068 SGG w/ Transom
Garage Door	5/8" Insulated - 5/8" per Elevation
Windows	Wine - Low E Insulated - 33 U-Value



Front Elevation

Stockton
Manor


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Rear Elevation

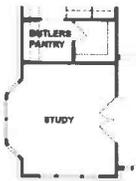


Left Elevation



Right Elevation

Stockton Manor



Study w/ Butlers Pantry



Study



Guest Room



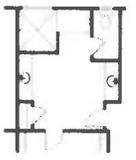
Bedroom 4 w/ Bath



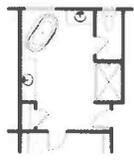
Pocket Office



Bedroom 5



Walk-in Shower



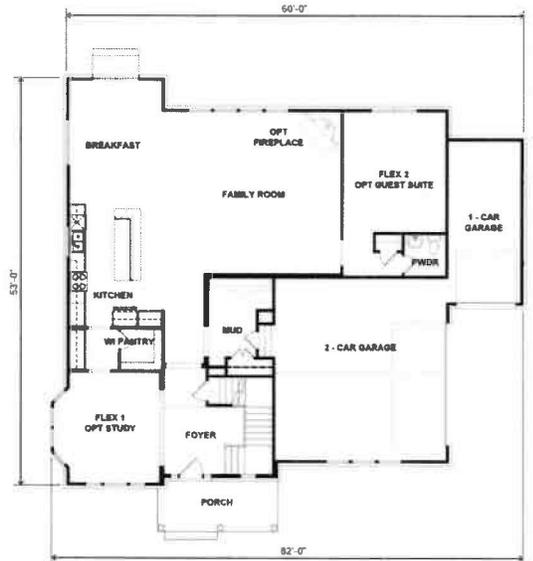
Luxury Bath



Jack / Jill Bath



Upper Floor Plan



Main Floor Plan

Plan Options

Stockton

Color Collection 7

Lead Siding	Harvest - Plank Lead Siding
Exterior Trim	UP - Smart Trim S16
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Front Door	1046 500 w/ Porch
Garage Door	Steel Insulated - Style per Elevation
Windows	Steel Low-E Insulated 33 L-Value



Front Elevation

Stockton
Arts and Crafts


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Rear Elevation



Left Elevation



Right Elevation

Stockton
Arts and Crafts


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REAR YARD PLANT LIST- GOLF COURSE LOT

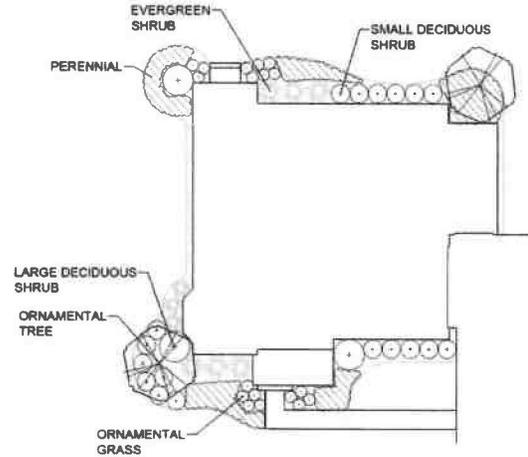
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (5' CLUMP FORM OR 2" CAL. TREE FORM): CRABAPPLE SPECIES* EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[6]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE GROPSEED KARL FOERSTER GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[60]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS.

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (5' CLUMP FORM OR 2" CAL. TREE FORM): CRABAPPLE SPECIES EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE GROPSEED KARL FOERSTER GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[29]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS.



Stockton

Sumner

3405 - 3887 s.f.



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Color Collection 10

Lan Siding	Hardie® - Plank Lap Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	LP - Smart Trim 5/8"
Columns	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Flooring	Laminated - Architectural Single
Brick	Standard Modular
Stone	Eden + Valden - Oakfield Machine Cut Veneer
Gutters	5" Aluminum F-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6245 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Craftsman

Color Collection 8

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Park Vertical Siding
Exterior Trim	LP - Smart Trim S4
Shutters	Vinyl - Decorative
Soffit & Fascia	Way 3 Aluminum
Roofing	Laminated - Architecturalingles
Stone	Edens Valders - Oakfield Machine Cut Veneer
Brick	Standard Modular
Gutters	5 Aluminum F Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6265 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	White - Low E Insulated 33 U-Value



Front Elevation

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English Country


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Rear Elevation



Left Elevation



Right Elevation

Sumner
English Country

Color Collection 17

Lap Siding	Hardie® - Plank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	UP - Smart Trim 5/8"
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	20 Year/20 Year Architectural Shingles
Brick	Standard Nessler
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Gutters	5" Aluminum E-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 31/2" per Elevation
Patio Door	62x8 SGG w/ Transom
Garage Door	Steel Insulated - 31/2" per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Sumner Urban Farmhouse


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Rear Elevation



Left Elevation



Right Elevation

Sumner
Urban Farmhouse

Color Collection 7

Land Siding	Hardie® - Plank Lap Siding
Exterior Trim	LP - Smart Trim 5/4
Shutters	White - Decorative
Roofing & Fascia	White / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Columns	1" Aluminum Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6000 LGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Sumner
Prairie


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Rear Elevation



Left Elevation



Right Elevation

Sumner
Prairie

Color Collection 3

Lot Siding	Hardie® - Plank Lap Siding
Exterior Trim	UP - Smart Seal 5/4
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Columns	3" Aluminum 8 Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6500 SGG all Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Sumner
Traditional



Rear Elevation

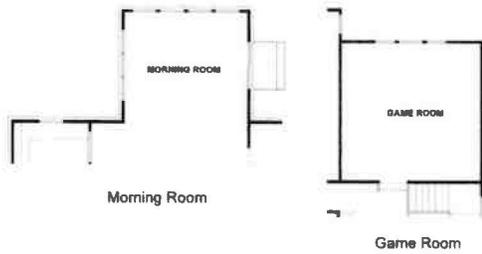


Left Elevation



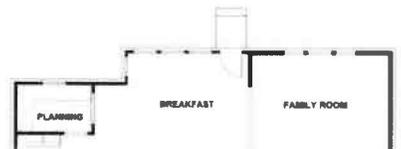
Right Elevation

Sumner
Traditional

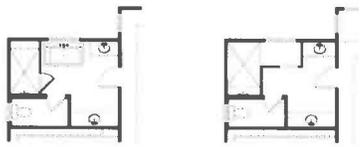


Morning Room

Game Room



Extended Family Room



Luxury Bath

Walk-in Shower



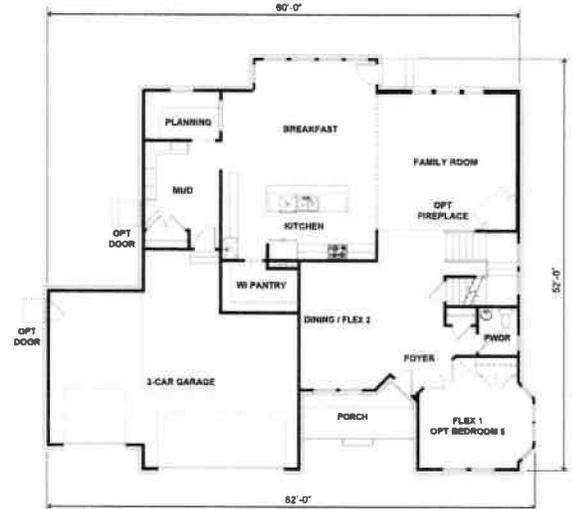
Butlers Pantry

Bedroom 2 w/ Bath

Plan Options



Upper Floor Plan



Main Floor Plan

Sumner



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Color Collection 10

Lap Siding	Hardie® - Plank Lap Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	UP - Smooth Trim S14
Shutters	UPH - Decorative
Soffit & Fascia	UPH - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Ederik Vanders - Oakfield Machine Cut Veneer
Gutters	5" Aluminum F-Style
Down Spouts	2 + 3 Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Front Door	6068 SCD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

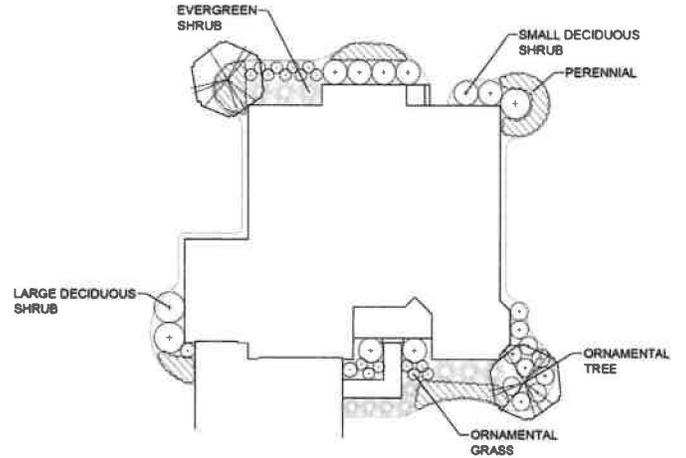
Sumner
Craftsman

REAR YARD PLANT LIST- GOLF COURSE LOT

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (6" CLUMP FORM OR 2" GAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[6]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPS EED FLAMING MOOR GRASS
[60]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (8" CLUMP FORM OR 2" GAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[8]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPS EED FLAMING MOOR GRASS
[24]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



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3334 - 3473 s.f.



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Color Collection 2

Lap Siding	Hardie® - Plyk Lap Siding
Shake Siding	Hardie® - Shake Siding
Exterior Trim	UP - Smart-Tek S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valdes - Oakfield Machine Cut Veneer
Gutters	5 Aluminum II Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - 57 lbs per Elevation
Patio Door	3045 SGG w/ Transom
Garage Door	Steel Insulated - 57 lbs per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 6

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Park Vertical Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Single
Stone	Eden - Vanders - Oakfield Machine Cut Veneer
Brick	Standard Modular
Gutters	2" Aluminum F-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 21/2" per Elevation
Patio Door	6265 SGG w/ Transom
Garage Door	Steel Insulated - 21/2" per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

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English Country


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Rear Elevation



Left Elevation



Right Elevation

Stanley
English Country

Color Collection 7

Lean Siding	Horizontal - Plank Lap Siding
Exterior Trim	LP - Smart Trim 3/4"
Shutters	W/Al - Decorative
Soffit & Fascia	W/Al - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum G-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Back Door	60x80 SDD w/ Porch
Garage Door	Steel Insulated - Style per Elevation
Windows	Yfm - Low E Insulated, 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 3

Door Siding	Hardie® - Park Lac Siding
Exterior Trim	UP - Smart Tone S14
Shutters	W/ell - Decorative
Stairs & Railing	W/ell - Aluminum
Roofing	Laminated - Architectural Shingles
Ecks	Standard Modular
Gutters	5" Aluminum E-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 SGB w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/ell - Low E Insulated 33 U-Value



Front Elevation

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Traditional


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Rear Elevation



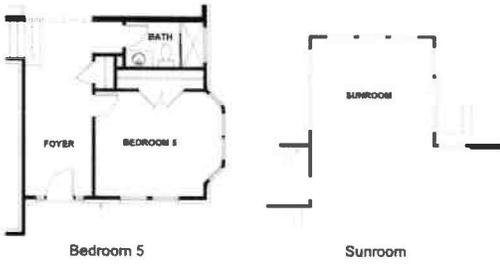
Left Elevation



Right Elevation

Stanley
Traditional


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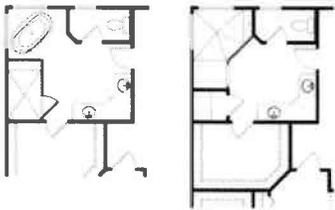


Bedroom 5

Sunroom



Bedroom 3 w/ Bath



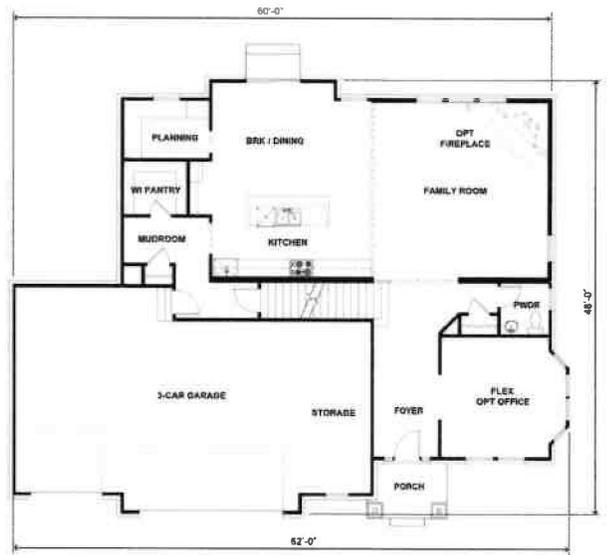
Luxury Bath

Walk-in Shower

Plan Options



Upper Floor Plan



Main Floor Plan

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Color Collection 2

Lap Siding	Hardie® - Plank Lap Siding
Shake Siding	Hardie® - Shake Siding
Exterior Trim	UP - Smart Trim 5/4
Shutters	W/SH - Decorative
Soffit & Fascia	W/SH - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Ederx - Vanders - Oakfield Machine Cut Veneer
Gutters	5" Aluminum F-Style
Down Spouts	2" x 2" Aluminum
Entry Door	Fiberglass Insulated - 3/4" per Elevation
Patio Door	4268 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/SH - Low E Insulated 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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REAR YARD PLANT LIST- GOLF COURSE LOT

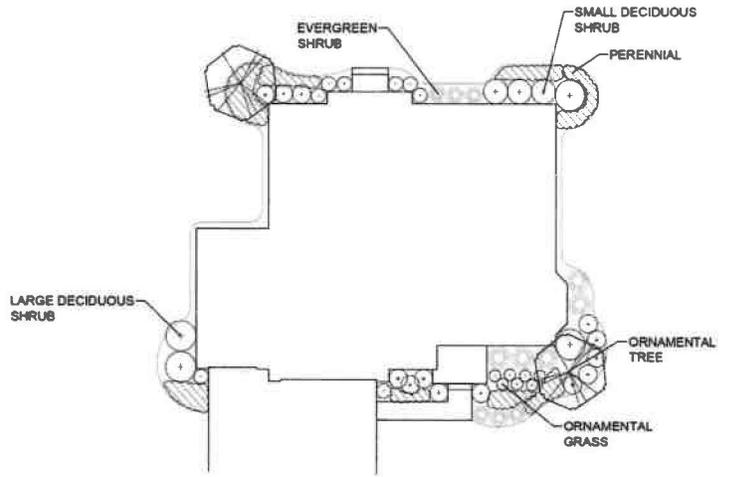
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[6]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[60]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[24]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

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Color Collection 2

Lap Siding	Hardie® - Park Lap Siding
Shake Siding	Hardie® - Shake Siding
Exterior Trim	UP - Smart Trim S14
Shutters	W/ill - Decorative
Soffit & Fascia	W/ill - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Gutters	3" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6245 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/ill - Low Emissiated 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 6

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Park Vertical Siding
Exterior Trim	LP - Smart-Ton 5/8"
Shutters	Wylly® Decorative
Soffit & Fascia	Wylly® Aluminum
Roofing	Laminated - Architectural Shingles
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Brick	Standard Modular
Gutters	5" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	FiberGlas Insulated - Style per Elevation
Patio Door	100% SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl Low E Insulated 33 U-Value



Front Elevation

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English Country


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Rear Elevation



Left Elevation



Right Elevation

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English Country

Color Collection 7

Exterior Siding	Hardie® - Park Lap Siding
Exterior Trim	UP - Smart Trim S18
Shutters	White - Decorative
Garage & Porch	White / Aluminum
Flooring	Laminated - Architectural Single
Brick	Standard Modular
Columns	S - Aluminum II Style
Down Spouts	2 x 3 - Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Porch Door	6000 S.G.D. w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	White - Low E Insulated 33 U-Value



Front Elevation

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Prairie**


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Rear Elevation



Left Elevation



Right Elevation

Stanley Prairie



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Color Collection 3

Lane Siding	Hardie® Plank Lap Siding
Exterior Trim	UP - Smart Trim S/A
Shutters	W/eyl - Decorative
Columns & Fascia	W/eyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum T-Style
Down Spouts	2 1/2" Aluminum
Entry Door	Fiberglass Insulated - 5/8" per Elevation
Patio Door	6248 S.G.D. w/ Transom
Garage Door	Steel Insulated - 5/8" per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

**Stanley
Traditional**


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Rear Elevation



Left Elevation



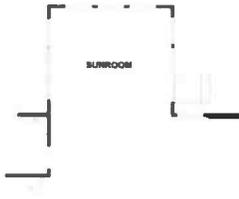
Right Elevation

Stanley
Traditional


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Bedroom 5



Sunroom



Bedroom 3 w/ Bath



Luxury Bath

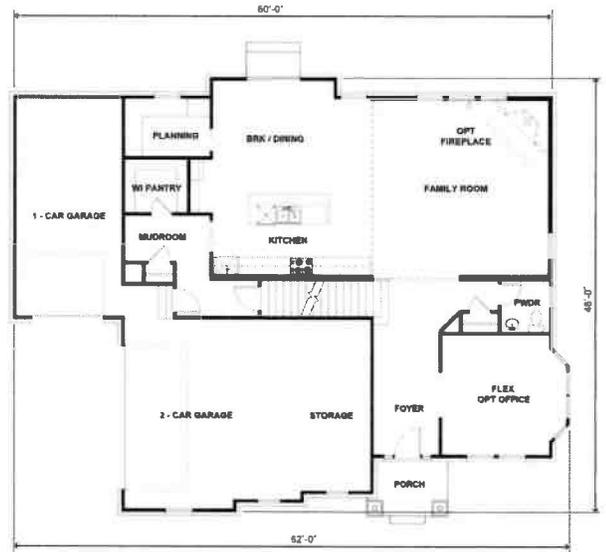


Walk-in Shower

Plan Options



Upper Floor Plan



Main Floor Plan

Stanley

Color Collection 2

Lap Siding	Hardie® - Plank Lap Siding
Shake Siding	Hardie® - Shingle Siding
Engineered Trim	LP® Smart-Tek® S4
Shutters	Vinyl - Decorative
Sillill & Fascia	Westerl Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Ederix Vaiden - Oakfield Machine Cut Veneer
Gutters	5 Aluminum F-Style
Down Spouts	2 & 3 Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6061 S60 w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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REAR YARD PLANT LIST- GOLF COURSE LOT

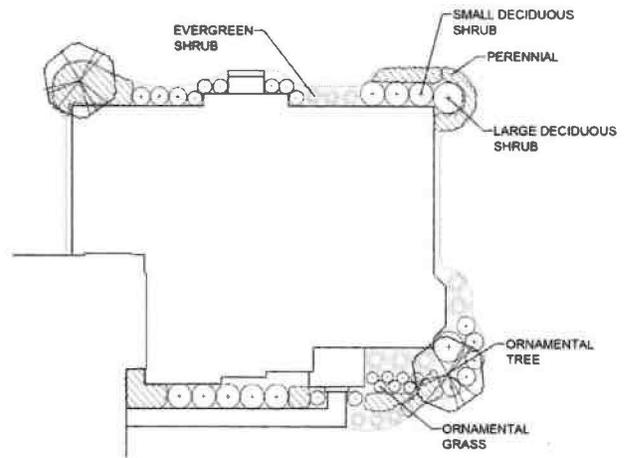
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (5' CLUMP FORM OR 2" GAL TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES* VIBURNUM SPECIES* DWARF KOREAN LILAC
[5]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD KALLAY'S COMPACT JUNIPER
[8]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS KARL FOERSTER GRASS BLUE OAT GRASS
[60]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES* WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (5' CLUMP FORM OR 2" GAL TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES* VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD KALLAY'S COMPACT JUNIPER
[8]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS KARL FOERSTER GRASS BLUE OAT GRASS
[28]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES* WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



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Lyndale

3360 - 3505 s.f.



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Color Collection 6

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shake Siding
Extension	LI - Smart-Tan S14
Shutters	Wright-Decorative
Trim & Fascia	Wright-Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Castled Machine Cut Veneer
Gutters	3" Aluminum II Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	4000 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	White-Low E Insulated 33 U-Value



Front Elevation

Lyndale
Artisan


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Rear Elevation



Left Elevation



Right Elevation

Lyndale
Artisan

Color Collection 7.1

Low Siding	Hardie® - Plank Low Siding
Vertical Siding	Hardie® - Plank Vertical Siding
Exterior Trim	UP - Smart Trim S/A
Shutters	Wyl® - Decorative
Soffit & Fascia	Wyl® / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Columns	5" Aluminum Column
Door Scaut	2 x 3 Aluminum
Entry Door	Fireglass Insulated - Style per Elevation
Patio Door	6888GG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Wyl® - Low E Insulated 33 U-Value



Front Elevation

Lyndale
Colonial Revival


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Rear Elevation



Left Elevation



Right Elevation

Lyndale
Colonial Revival

Color Collection 8

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Wylly - Decorative
Gables & Fascia	Wylly - Aluminum
Flooring	Laminated - Architectural Single
Brick	Standard Modular
Stone	Eden's Vipers - Oakfield Machine Cut Veneer
Gutters	2" Aluminum F-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6085 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Wylly - Low E Insulated 33 Uniforce



Front Elevation

Lyndale
Craftsman


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Rear Elevation



Left Elevation



Right Elevation

Lyndale
Craftsman

Color Collection 16 FH

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	UP - Smart Trim 5/4
Shutters	Wylly - Decorative
Soffit & Fascia	Wylly - Aluminum
Roofing	Laminated - Architectural Single
Erick	Starboard Modular
Stone	Edens Valders - Oakfield Machine Cut Veneer
Cupola	S - Aluminum 1.5 Style
Down Spouts	2 x 3 Aluminum
Entry Door	Fiberglass Insulated - 1.5 lbs per Elevation
Patio Door	6265 SGG w/ Transom
Garage Door	Steel Insulated - 1.5 lbs per Elevation
Windows	Vinyl Low E Insulated 33 U-Value



Front Elevation

Lyndale Urban Farmhouse



Rear Elevation

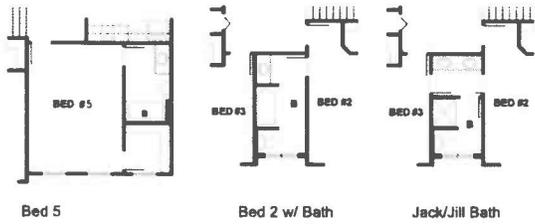


Left Elevation



Right Elevation

Lyndale
Urban Farmhouse



Plan Options



Upper Floor Plan



Main Floor Plan

Lyndale



Color Collection 6

Lac Siding	Hardw® - Park Lac Siding
Vertical Siding	Hardw® - Park Vertical Siding
Shake Siding	Hardw® - Shingle Siding
Exterior Trim	LF - Smart Trim SIA
Shutters	Vinyl - Decorative
Gable & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Deck	Standard Modular
Stone	Edens Vastan - Oakfield Machine Cut Veneer
Gutters	3" Aluminum Style
Down Spout	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	48" SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 L-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

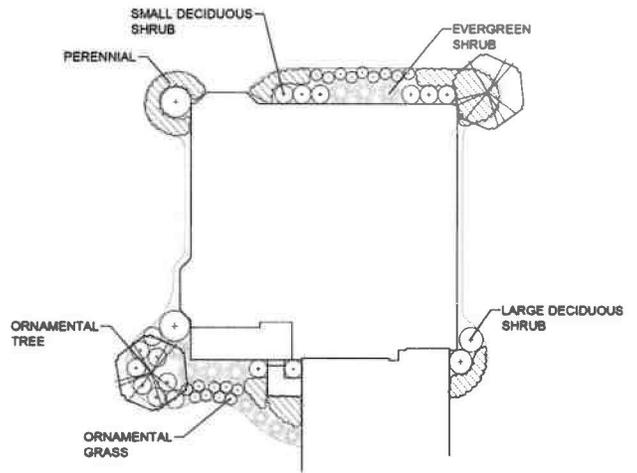
Lyndale
Artisan

REAR YARD PLANT LIST- GOLF COURSE LOT

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (6' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[1]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[6]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[3]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
[60]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS
	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
	VIBURNUM SPECIES* DWARF KOREAN LILAC
	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
	FALLAY'S COMPACT JUNIPER
	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (6' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[4]	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[10]	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[8]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
[28]	PERENNIALS: (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS
	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
	VIBURNUM SPECIES* DWARF KOREAN LILAC
	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
	KALLAY'S COMPACT JUNIPER
	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES



Lyndale

Hudson

3163 - 3831 s.f.



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Color Collection 18

Lap Siding	Harbor® - Park Lap Siding
Vertical Siding	Harbor® - Park Vertical Siding
Exterior Trim	UP - Smart Trim S/A
Shutters	Wright Decorative
Soffit & Fascia	Wright Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens - Varden - Oakfield Machine Cut Veneer
Columns	3" Aluminum Style
Down Spouts	2" x 2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6000 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated - 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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10.11.21

Color Collection 7

Lac Siding	Hardwell® Park Lac Siding
Exterior Trim	UP - Smart Trim S/S
Shutters	Wings® Decorative
Soffit & Fascia	Wings® Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	5" Aluminum F-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 SDD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Wings® Low E Insulated 32 or 36



Front Elevation

Hudson
Colonial Revival


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Rear Elevation



Left Elevation



Right Elevation

Hudson
Colonial Revival

Color Collection 2.1

Lap Siding	Hardie® - Park Lap Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	UP - Smart Trim 5/4
Shutters	W/Blk - Decorative
Soffit & Fascia	W/Blk - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Voids - Oakfield Machine Cut Veneer
Gutters	3" Aluminum K Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/Blk - Low E Insulated 33 U-Value



Front Elevation

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Craftsman**


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Rear Elevation



Left Elevation



Right Elevation

**Hudson
Craftsman**

Color Collection 17 FH

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	UP - Smart Trim S/A
Shutters	W/HP - Decorative
Baffle & Fascia	W/HP - Aluminum
Roofing	Laminated - Architectural Shingles
Deck	Standard Raptor
Stone	Edens Vaiden - Oakfield Machine Cut Veneer
Columns	2 - Aluminum Style
Down Spouts	2 x 3 Aluminum
Entry Door	Frameless Insulated - Style per Elevation
Patio Door	6045 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/HP - Low E Insulated 33 U-Value



Front Elevation

Hudson
Urban Farmhouse


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Rear Elevation



Left Elevation

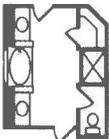


Right Elevation

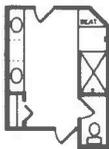
Hudson Urban Farmhouse



In-law Suite



Luxury Bath



Walk-in Shower



Bonus Room / Bedroom 5



Jack / Jill Bath

Plan Options



Upper Floor Plan



Main Floor Plan

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Color Collection 18

Lac Siding	Hardie® - Plank Lac Siding
Vertical Siding	Hardie® - Plank Vertical Siding
Exterior Trim	UP® Smart-Tan 514
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Varden - Oakfield Machine Cut Veneer
Gutters	3" Aluminum - Style
Down Spout	2" x 2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6240 S.G.D. w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low Insulated 33 or Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

Hudson
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REAR YARD PLANT LIST- GOLF COURSE LOT

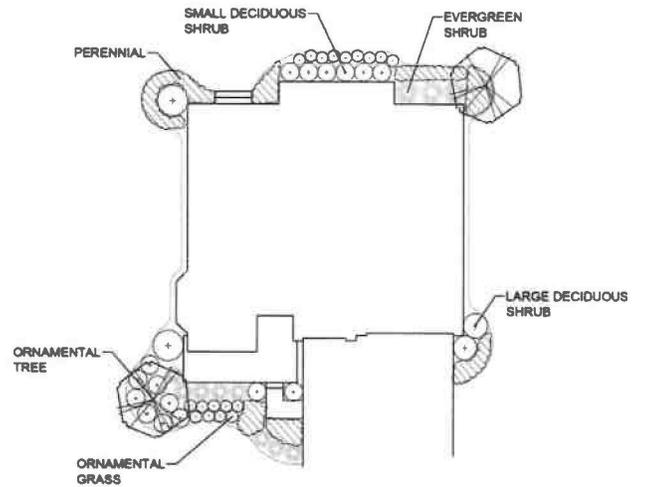
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[8]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[60]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES* EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[6]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[28]	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Hudson

Hudson

(Side Load Garage)
3163 - 3831 s.f.

Color Collection 18

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Wylf - Decorative
Soffit & Fascia	Wylf - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Gutters	3" Aluminum K Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6065 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated, 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 7

Roof Siding	Hardie® Plank Lap Siding
Exterior Trim	LP - Smart Trim 3/4"
Shutters	Vinyl - Decorative
Stairt & Railing	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Medium
Gutters	3" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	fiberglass Insulated - Style per Elevation
Patio Door	60x80 SDO w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	White - Low E Insulated 33 U Value



Front Elevation

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Colonial Revival


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Rear Elevation



Left Elevation



Right Elevation

Hudson
Colonial Revival

Color Collection 2.1

Lap Siding	Hardie® - Park Lap Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	UP - Smart Trim S/A
Shutters	Vinyl - Decorative
Gable & Fascia	Vinyl - Aluminum
Roofing	Laminated - Architecturalingles
Block	Standard Modular
Stone	Eden - Vaiden - Oakfield/Machine Cut Veneer
Columns	3" Aluminum F-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Freeglass Insulated - Style per Elevator
Patio Door	48" x 56" w/ Transom
Garage Door	Steel Insulated - Style per Elevator
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

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Craftsman**


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Rear Elevation



Left Elevation



Right Elevation

Hudson
Craftsman


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Color Collection 17 FH

Lead Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Weyerhaeuser - Decorative
Soffit & Fascia	Weyerhaeuser - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens Veldens - Oakfield Machine Cut Veneer
Gutters	3" Aluminum F-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	4048 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Weyerhaeuser - Low E Insulated 33 U-Value



Front Elevation

Hudson
Urban Farmhouse


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Rear Elevation



Left Elevation

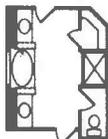


Right Elevation

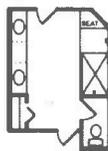
Hudson
Urban Farmhouse



In-law Suite



Luxury Bath



Walk-in Shower



Bonus Room / Bedroom 5



Jack / Jill Bath

Plan Options



Upper Floor Plan



Main Floor Plan

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Color Collection 18

Lap Siding	Hardie® - Plank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP - Smart Trim S/A
Shutters	W/ail - Decorative
Eaves & Fascia	Vital 2 Aluminum
Roofing	Laminated Architectural Shingles
Beck	Standard Modular
Stone	Eden's Valdes - Oakfield Machine Cut Veneer
Columns	3 Aluminum 2 Style
Down Spouts	2 in 3 Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6888 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vital Low Insulated 33 in Vase



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

Hudson
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REAR YARD PLANT LIST- GOLF COURSE LOT

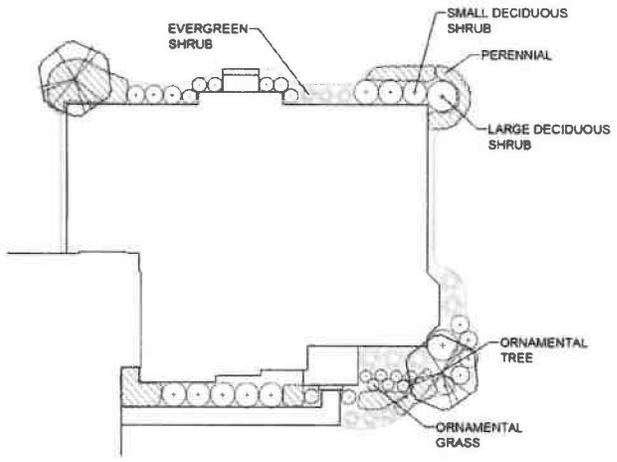
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (6' CLUMP FORM OR 2" GAL TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[1]	LARGE SHRUBS (30" TALL / 5 GAL) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[6]	SMALL SHRUBS (15" TALL / 5 GAL) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL) DENSE YEW* GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL) PRAIRIE DROPSEED FLAMING MOOR GRASS
[50]	PERENNIALS (1 GAL) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (6' CLUMP FORM OR 2" GAL TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[4]	LARGE SHRUBS (30" TALL / 5 GAL) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[10]	SMALL SHRUBS (15" TALL / 5 GAL) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[8]	EVERGREEN SHRUBS (24" WIDE / 5 GAL) DENSE YEW* GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL) PRAIRIE DROPSEED FLAMING MOOR GRASS
[25]	PERENNIALS (1 GAL) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



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Fairbanks

3001 - 3262 s.f.



M/I HOMES

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Color Collection 8

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	LP - Smart Trim 5/4
Shutters	Wylly - Decorative
Effit & Fascia	Wylly - Aluminum
Roofing	Laminated - Architecturalingles
Brick	Standard Modular
Stone	Spent's Vaders - Oakfield Machine Cut Veneer
Gutters	1" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6365 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	White - Low Insulated 33 U-Value



Front Elevation

Fairbanks
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Rear Elevation



Left Elevation



Right Elevation

Fairbanks
Artisan

Color Collection 6

Lap Siding	Hardie® - Park Lap Siding
Exterior Trim	UP - Smart Trim S/A
Shutters	Wright - Decorative
Stair & Fascia	Wright - Aluminum
Roofing	Laminated - Architecturalingles
Brick	Standard Modular
Gutters	2" Aluminum F-Style
Down Spouts	2 1/2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 SDB w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Wright - Low E Insulated 33 U-Value



Front Elevation

Fairbanks
Colonial Revival


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Rear Elevation



Left Elevation



Right Elevation

Fairbanks
Colonial Revival

Color Collection 11

Lap Siding	Hardie® Plank Lap Siding
Shake Siding	Hardie® Shingle Siding
Exterior Trim	LP - Smart Trim S/A
Shutters	W/Al - Decorative
Stair/ & Fazio	W/Al - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Visions - Oakfield Machine Cut Veneer
Gutters	5" Aluminum F-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Front Door	6065 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/Al - Low E Insulated 33 U-Value



Front Elevation

Fairbanks
Craftsman


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 M/I Homes of Chicago
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Rear Elevation



Left Elevation



Right Elevation

Fairbanks
Craftsman

Color Collection 16 FH

Lean Siding	Hardie® - Plank Lean Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Exterior Trim	LP - Smart Trim S14
Shutters	W/ill - Decorative
Soffit & Fascia	W/ill - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Master
Stone	Essex Valders - Oakfield Machine Cut Veneer
Gutters	5 - Aluminum F-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x85 GDI w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/ill - Low E Insulated 33 or Value



Front Elevation

Fairbanks
Urban Farmhouse


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Rear Elevation



Left Elevation



Right Elevation

Fairbanks Urban Farmhouse



Fairbanks



M/I HOMES

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Color Collection 8

Lap Siding	Hardie® - Plank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	LF - Smart Trim 5/4
Shutters	Vinyl - Decorative
Gutter & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Masonry
Stone	Eden - Vanders - Oakfield Machine Cut Veneer
Gutters	5" Aluminum K-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	#668 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl Low E Insulated 33 Uniflow



Front Elevation

Fairbanks
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Rear Elevation



Left Elevation



Right Elevation

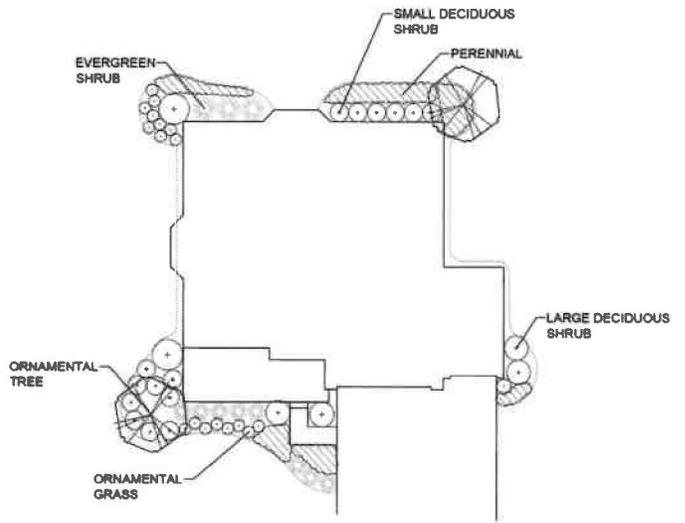
Fairbanks
Artisan


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REAR YARD PLANT LIST- GOLF COURSE LOT

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[9]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[80]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE	
[1]	ORNAMENTAL TREES (6' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC	EASTERN REDBUD* APPLE SERVICEBERRY* ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*	VIBURNUM SPECIES* DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES	DWARF FOTHERGILLA* LITTLE HENRY SWEETSPIRE* DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD	KALLAY'S COMPACT JUNIPER
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIED FLAMING MOOR GRASS	KARL FOERSTER FEATHER REED GRASS BLUE OAT GRASS
[28]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*	WALKERS LOW CATMINT SUMMER BEAUTY ALLIUM HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

Fairbanks



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Color Collection 14

Lap Siding	Hardie® - Plank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	UP - Smart Trim S/S
Shutters	W/Al - Decorative
Goffit & Fascia	W/Al - Aluminum
Roofing	Laminated - Architectural Shingles
Sinks	Standard Model
Stone	Eden's Vanders - Oakfield Machine Cut Veneer
Columns	S - Aluminum II Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 SGC w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/Al - Low E Insulated 33 O/Voice



Front Elevation

Essex
Artisan


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Rear Elevation



Left Elevation



Right Elevation

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Color Collection 8

Land Siding	Hardie® - Park Lane Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Wylf - Decorative
Door & Window	Wylf - Aluminum
Roofing	Laminated - Architectural Shingles
Flank	Standard Medium
Gutters	2" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Garage Door	Steel Insulated - Style per Elevation
Windows	Wylf - Low E Insulated 33 U-Value



Front Elevation

Essex
Colonial Revival


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Rear Elevation



Left Elevation



Right Elevation

Essex
Colonial Revival

Color Collection 5

Lap Siding	Hardie® - Plank Lap Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	LP - Smart Trim S14
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Essex Valders - Oakfield Machine Cut Veneer
Curtains	3" Aluminum 1774
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6046 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Essex
Craftsman


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Rear Elevation



Left Elevation



Right Elevation

Essex
Craftsman


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Color Collection 16 FH

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Park Vertical Siding
Exterior Trim	UP - Smart Trim S/A
Shutters	W/pt - Decorative
Soffit & Fascia	W/pt - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden Voids - Oakfield Machine Cut Veneer
Gutters	5" Aluminum F-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x80 CGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/pt - Low E Insulated 33 U-Value



Front Elevation

Essex
Urban Farmhouse


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Rear Elevation



Left Elevation



Right Elevation

Essex
Urban Farmhouse





Bedroom 5



Bedroom 2 w/ Bath



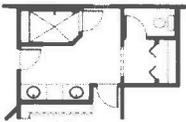
Fireplace



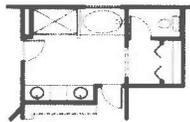
Guest Room



Study



Walk-in Shower



Luxury Bath

Plan Options



Upper Floor Plan



Main Floor Plan

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Color Collection 14

Lap Siding	Hardie® Plank Lap Siding
Vertical Siding	Hardie® Panel Vertical Siding
Shake Siding	Hardie® Shingle Siding
Exterior Trim	UP - Smart Trim S/E
Shutters	Vinyl - Decorative
Gable & Fascia	Vinyl 2 Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Stone	Eden's Vigores - Gable Machine Cut Veneer
Cutters	5" Aluminum Style
Down Spouts	2" x 2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6065 SOD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 L-Value



Front Elevation

Essex
Artisan


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Rear Elevation



Left Elevation



Right Elevation

Essex
Artisan

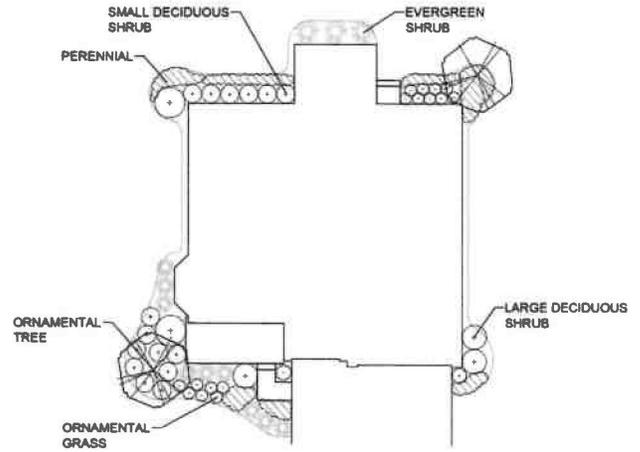

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REAR YARD PLANT LIST- GOLF COURSE LOT

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (6" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[6]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[3]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
[60]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES (6" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES CORNELIANCHERRY DOGWOOD JAPANESE TREE LILAC
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD HYDRANGEA SPECIES*
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD NINEBARK SPECIES ROSE SPECIES
[8]	EVERGREEN SHRUBS (24" WIDE / 5 GAL.) DENSE YEW* GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSEED FLAMING MOOR GRASS
[28]	PERENNIALS (1 GAL.) DAYLILY SPECIES BLACK EYED SUSAN HOSTA SPECIES*
	* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



Essex

Eastman

2760 - 2870 s.f.



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Color Collection 13

Lac Siding	Hardie® - Plank Lac Siding
Vertical Siding	Hardie® - Plank Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Panel Siding	Hardie® - Panel Siding
Exterior Trim	LP - SmartTrim S/S
Shutters	W/Whi - Decorative
Capit & Fascia	W/Whi - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Vaiders - Oakfield Machine Cut Veneer
Gutters	5" Aluminum F-Style
Down Spouts	2 1/2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6068 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/Whi - Low E Insulated 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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Artisan

Color Collection 8

Lac Siding	Hardie® - Park Lap Siding
Panel Siding	Hardie® - Panel Siding
Exterior Trim	LP - Smart Trim S/A
Shutters	Vinyl - Decorative
Gutters & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architecturalingles
Brick	Standard Modular
Columns	S/ Aluminum / Stone
Down Spouts	2 x 2 Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	#248 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 0-Value



Front Elevation

Eastman
Colonial Revival

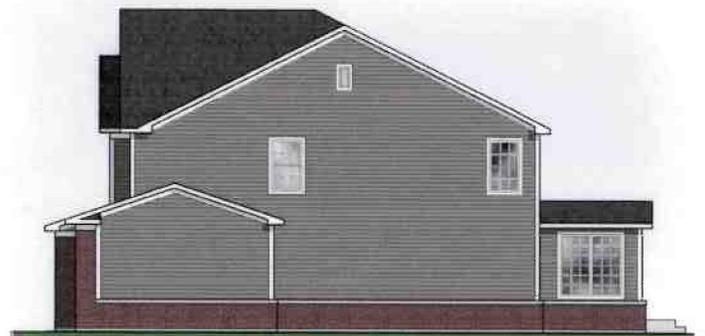

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Rear Elevation



Left Elevation



Right Elevation

Eastman
Colonial Revival

Color Collection 1

Lac Siding	Hardie® - Plank Lac Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	UP - Smart Trim S/A
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Essex - Vanders - Oakfield Machine Cut Veneer
Gutters	5" Aluminum E Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	60x55 GGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated .33 U-Value



Front Elevation

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Craftsman**


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Rear Elevation



Left Elevation



Right Elevation

Eastman
Craftsman



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Color Collection 15 FH

Lap Siding	Hardie® Plank Lap Siding
Vertical Siding	Hardie® Panel Vertical Siding
Exterior Trim	LP Smart Trim S14
Shutters	Wijill® Decorative
Soffit & Fascia	Wijill® Aluminum
Roofing	Laminated Architectural Shingles
Brick	Standard Modular
Stone	Edens Velders - Oakfield Machine Cut Veneer
Gutters	3" Aluminum II Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6245 SCD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Wijill® Low E Insulated 32 U-Value



Front Elevation

Eastman Urban Farmhouse





Rear Elevation



Left Elevation



Right Elevation

Eastman
Urban Farmhouse



Plan Options



Upper Floor Plan



Main Floor Plan

Eastman

Color Collection 13

Lap Siding	Hardie® - Plank Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Panel Siding	Hardie® - Panel Siding
Exterior Trim	LP - Smart Trim 5/4
Shutters	Wylly - Decorative
Spill & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Edens / Volcan® - Gravel Machine Cut Veneer
Curtains	3" Aluminum 6 Style
Down Spouts	2 x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6065 SGC w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Wylly - Low E Insulated 33 U-Value



Front Elevation

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Rear Elevation



Left Elevation



Right Elevation

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REAR YARD PLANT LIST- GOLF COURSE LOT

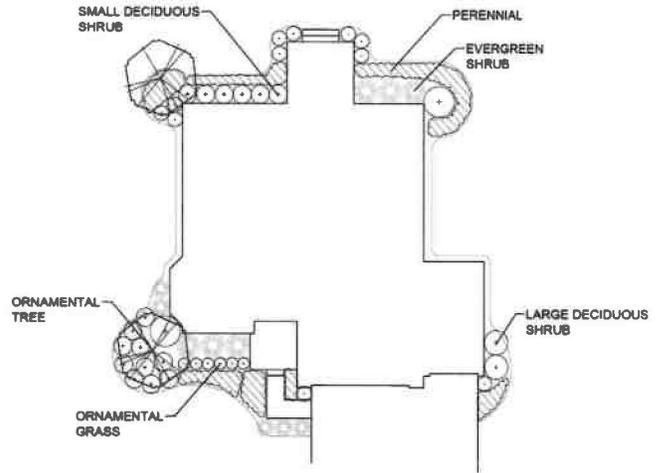
QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[1]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES DWARF KOREAN LILAC
[8]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[3]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSSEED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[60]	PERENNIALS: (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
[1]	ORNAMENTAL TREES: (8' CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
[4]	LARGE SHRUBS (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES DWARF KOREAN LILAC
[10]	SMALL SHRUBS (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPIRE* ROSE SPECIES DARK HORSE WEIGELA
[8]	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
[9]	ORNAMENTAL GRASSES: (1 GAL.) PRAIRIE DROPSSEED KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
[28]	PERENNIALS: (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



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2225 - 2443 s.f.



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Color Collection 8

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Panel Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	LP - Smart Trim 3/4"
Shutters	Wijff - Decorative
Soffit & Fascia	Wijff - Aluminum
Roofing	Laminops® - Architecturalingles
Brick	Standard Mastic
Stone	Eden's Voids® - Oakfield Machine Cut Veneer
Gutters	5" Aluminum Style
Down Spouts	2" x 2" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	40x60 SGC w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vynyl Low E Insulated 33 U Value



Front Elevation

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Right Elevation



Left Elevation



Rear Elevation

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Color Collection 6

Lot Siding	Hardie® - Park Lap Siding
Exterior Trim	UP - Inert Trim S/G
Shutters	White - Decorative
Soffit & Fascia	White / Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Gutters	2" Aluminum K Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - 31/2" per Elevation
Panic Door	45/8" SGG w/ Transom
Garage Door	Steel Insulated - 3 1/2" per Elevation
Windows	White - Low E Insulated - 33U-Value



Front Elevation

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Right Elevation



Left Elevation



Rear Elevation

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Colonial Revival

Color Collection 1

Lead Siding	Hardie® - Plank Lap Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	LP - Smart Trim S/A
Roofing & Rafters	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Deck	Standard Modular
Columns	3" Aluminum I-Style
Door Details	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Garage Door	6245 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl Low E Insulated 33 U-Value



Front Elevation

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Right Elevation



Left Elevation



Rear Elevation

Elbridge
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Color Collection 15 FH

Lap Siding	Hardie® - Park Lap Siding
Vertical Siding	Hardie® - Park Vertical Siding
Exterior Trim	LP - Smart Trim 5/8"
Shutters	Vinyl - Decorative
Soffit & Fascia	Vinyl / Aluminum
Roofing	Laminated - Architectural Shingles
Shel	Standard Masonry
Stone	Eden's Vanders - Oakfield Machine Cut Veneer
Gutters	5" Aluminum F-Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6265 SGG w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	Vinyl - Low E Insulated 33 U-Value



Front Elevation

Elbridge Urban Farmhouse


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Right Elevation

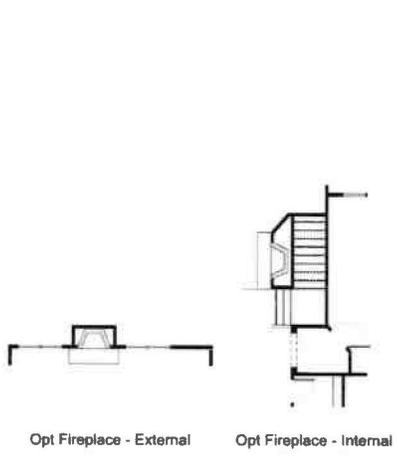


Left Elevation



Rear Elevation

Elbridge
Urban Farmhouse



Plan Options



Main Floor Plan

Elbridge

Color Collection 8

Lap Siding	Hardie® - Pine Lap Siding
Vertical Siding	Hardie® - Pine Vertical Siding
Shake Siding	Hardie® - Shingle Siding
Exterior Trim	1" x 3" Smart Trim S/A
Shutters	W/Flt - Decorative
Gutters & Fascia	W/Flt - Aluminum
Roofing	Laminated - Architectural Shingles
Brick	Standard Modular
Stone	Eden's Valders - Oakfield Machine Cut Veneer
Gutters	1" Aluminum II Style
Down Spouts	2" x 3" Aluminum
Entry Door	Fiberglass Insulated - Style per Elevation
Patio Door	6045 SGD w/ Transom
Garage Door	Steel Insulated - Style per Elevation
Windows	W/Flt - Low E Insulated 33 L-Value



Front Elevation

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Right Elevation



Left Elevation



Rear Elevation

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REAR YARD PLANT LIST- GOLF COURSE LOT

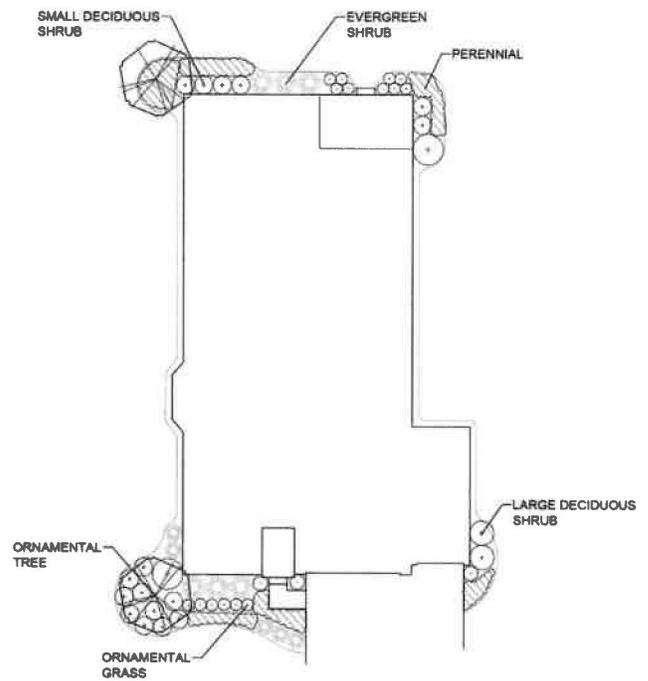
QTY	PLANT TYPE
(1)	ORNAMENTAL TREES: (8" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
(1)	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
(6)	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPHIRE* ROSE SPECIES DARK HORSE WEIGELA
(3)	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
(9)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIEES KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
(80)	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS

FRONT YARD PLANT LIST-STANDARD

QTY	PLANT TYPE
(1)	ORNAMENTAL TREES: (8" CLUMP FORM OR 2" CAL. TREE FORM) CRABAPPLE SPECIES EASTERN REDBUD* CORNELIANCHERRY DOGWOOD APPLE SERVICEBERRY* JAPANESE TREE LILAC ROYAL STAR MAGNOLIA
(4)	LARGE SHRUBS: (30" TALL / 5 GAL.) BAILEY'S REDTWIG DOGWOOD VIBURNUM SPECIES* HYDRANGEA SPECIES* DWARF KOREAN LILAC
(10)	SMALL SHRUBS: (18" TALL / 5 GAL.) ARCTIC FIRE REDTWIG DOGWOOD DWARF FOTHERGILLA* NINEBARK SPECIES LITTLE HENRY SWEETSPHIRE* ROSE SPECIES DARK HORSE WEIGELA
(8)	EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) DENSE YEW* KALLAY'S COMPACT JUNIPER GREEN VELVET BOXWOOD
(9)	ORNAMENTAL GRASSES (1 GAL.) PRAIRIE DROPSIEES KARL FOERSTER FEATHER REED GRASS FLAMING MOOR GRASS BLUE OAT GRASS
(28)	PERENNIALS (1 GAL.) DAYLILY SPECIES WALKERS LOW CATMINT BLACK EYED SUSAN SUMMER BEAUTY ALLIUM HOSTA SPECIES* HEUCHERA SPECIES

* TOLERATES SHADE - FOR NORTH FACING FOUNDATION PLANTINGS



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