

ORDINANCE NO. 2203-22

AN ORDINANCE GRANTING AN AMENDMENT TO THE EXISTING SPECIAL USE PERMIT RELATED TO THE PROPOSED CONSTRUCTION OF AN ADDITIONAL BUILDING AND OTHER DEPARTURES FROM THE EXISTING PLANNED UNIT DEVELOPMENT SUCH AS LOT COVERAGE AND NUMBER OF BUILDINGS ON THE PROPERTY LOCATED AT 24630 N. OLD MCHENRY ROAD. – KIMBERLY WASSON

WHEREAS, on or about June 7, 2022, Kimberly Wasson, as applicant (“Applicant”), filed an application for an amendment to the existing special use permit related to the proposed construction of an additional building and other departures from the existing planned unit development such as lot coverage and number of buildings on the property legally described on Exhibit "A" attached hereto and incorporated herein (the "SUBJECT REALTY"); and,

WHEREAS, the Applicant’s plans for the amended special use and master site plan are attached hereto as Exhibit “B” and incorporated herein; and,

WHEREAS, Notice of Public Hearing with respect to the special use permit was published on or about September 9, 2022, in the Daily Herald, being a newspaper having general circulation within the Village of Hawthorn Woods, all as required by the statutes of the State of Illinois and the ordinances of the Village, and,

WHEREAS, all other notices, including mailings of the proposed request, required by the statutes of the State of Illinois and the ordinances of the Village have been given; and,

WHEREAS, pursuant to said notices, the Planning, Building, and Zoning Commission of the Village of Hawthorn Woods conducted a Public Hearing regarding the special use permit on or about September 27, 2022, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, the Planning, Building, and Zoning Commission forwarded its recommendations, including its Findings of Fact, to the Mayor and Board of Trustees on or about September 27, 2022, a copy of which is attached hereto as Exhibit "C" and incorporated herein.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Hawthorn Woods, Lake County, Illinois, as follows:

SECTION ONE: That there is hereby granted an amendment to the existing special use permit related to the proposed construction of an additional building and other departures from the existing planned unit development such as lot coverage and number of buildings on the SUBJECT REALTY as set forth on Exhibit "B".

SECTION TWO: That the recommendations and Findings of Fact of the Planning, Building, and Zoning Commission attached hereto as Exhibit "C", be and the same are hereby adopted by the Mayor and Board of Trustees as and for its Findings of Fact.

SECTION THREE: That the amendment to the special use permit is subject to the following terms and conditions:

1. Engineering issues (wetlands, stormwater and driveway access) shall be finalized and approved by the Village prior to the issuance of any permits for site improvements and building permits.
2. That all previous conditions outlined in the original special use permit remain in effect.

SECTION FOUR: That there are hereby granted an amendment to the special use permit for a Planned Development with the following additional departures from the original planned development:

Building	Existing	Proposed	Departure
Metal Barn	n/a	25'-4"	274'-8"
Future Storage Building (east)	120'	n/a	n/a
Existing Stabling (east)	200'-3"	197'	103'
Impervious Surface	12.26%	14.26%	n/a

SECTION FIVE: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of the Ordinance are, to the extent of such conflict, expressly repealed.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

The foregoing Ordinance was passed by a roll call vote as follows:

AYES: Haiser, Bayer, McCarthy, Lynch

NAYS: 0

ABSENT AND NOT VOTING: Liess, David

APPROVED: Dominick DiMaggio  
Dominick DiMaggio, Mayor

ATTEST: Donna Lobaito  
Donna Lobaito, Village Clerk

PASSED: October 24, 2022

APPROVED: October 24, 2022

**EXHIBIT "A"**  
LEGAL DESCRIPTION

PARCEL 1:

THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTHWESTERLY OF THE RIGHT OF WAY OF THE ELGIN, JOLIET AND EASTERN RAILWAY COMPANY (FORMERLY THE WAUKEGAN AND SOUTHWESTERN RAILWAY COMPANY AND EXCEPTING THEREFROM THAT TRACT OF LAND CONVEYED BY WARRANTY DEED RECORDED JANUARY 29, 1952 AS DOCUMENT NO. 749139 AND FILED IN BOOK 1089 OF RECORDS, AT PAGE 331 AND DESCRIBED AS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID HALF QUARTER SECTION, 731.80 FEET EAST OF THE NORTHWEST CORNER THEREOF, THENCE SOUTH AT RIGHT ANGLES TO THE LAST MENTIONED LINE 368.10 FEET; THENCE EAST 130.0 FEET; THENCE NORTH 368.10 FEET TO A POINT ON THE NORTH LINE OF SAID HALF QUARTER SECTION 130.0 FEET EAST OF THE POINT OF BEGINNING AND THENCE WEST TO THE POINT OF BEGINNING AS SAID TRACT IS STAKED AND OCCUPIED; ALSO EXCEPT THAT TRACT OF LAND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THAT TRACT OF LAND CONVEYED BY WARRANTY DEED RECORDED JANUARY 29, 1952 AS DOCUMENT NO. 749139 AND FILED IN BOOK 1089 OF RECORDS, AT PAGE 331 AS SAID PROPERTY IS STAKED AND OCCUPIED (SAID POINT BEING 731.80 FEET EAST OF THE NORTHWEST CORNER OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 9); THENCE WEST ALONG THE NORTH LINE OF SAID QUARTER SECTION, 150.0 FEET; THENCE SOUTH AT RIGHT ANGLES TO SAID NORTH LINE, 323.00 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID QUARTER SECTION, 150.0 FEET TO A POINT ON THE WEST LINE OF SAID TRACT OF LAND CONVEYED BY DOCUMENT NO. 749139, AFORESAID; THENCE NORTH ALONG SAID WEST LINE 323.0 FEET TO THE POINT OF BEGINNING; ALSO EXCEPT THAT TRACT OF LAND DESCRIBED AS FOLLOWS: THE NORTH 290.40 FEET OF THE WEST 158.74 FEET, AS MEASURED ON THE WEST AND NORTH LINES THEREOF OF THE EAST HALF OF SAID SOUTHEAST QUARTER; ALSO EXCEPT THAT TRACT OF LAND BOUNDED BY A LINE DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE EAST HALF OF SAID SOUTHEAST QUARTER, THENCE EAST ALONG THE NORTH LINE OF SAID QUARTER SECTION, 158.74 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING EAST ALONG THE NORTH LINE OF SAID QUARTER SECTION, 321.66 FEET; THENCE SOUTH ALONG A LINE DRAWN AT RIGHT ANGLES TO THE NORTH LINE OF SAID SOUTHEAST QUARTER, 422.50 FEET; THENCE WEST ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID QUARTER SECTION, 477.21 FEET TO A POINT ON THE WEST LINE OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 9, THENCE NORTH ALONG SAID WEST LINE, 132.11 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID QUARTER SECTION, 158.74 FEET, THENCE NORTH ALONG A LINE PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 9, 290.40 FEET TO THE POINT OF BEGINNING; ALSO EXCEPTING THERE FROM THAT TRACT OF LAND BOUNDED BY A LINE DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE EAST HALF OF SAID SOUTHEAST QUARTER; THENCE EAST ALONG THE NORTH LINE OF SAID QUARTER SECTION, 861.80 FEET TO THE NORTHEAST CORNER OF THAT TRACT OF LAND CONVEYED BY WARRANTY DEED RECORDED JANUARY 29, 1952 AS DOCUMENT NO. 749139 AND FILED IN BOOK 1089 OF RECORDS, AT PAGE 331, AS SAID PROPERTY IS STAKED AND OCCUPIED FOR A POINT OF BEGINNING; THENCE CONTINUING EAST ALONG THE NORTH LINE OF SAID QUARTER SECTION, 352.42 FEET TO THE WESTERLY RIGHT OF WAY LINE OF THE ELGIN, JOLIET AND EASTERN RAILROAD; THENCE

SOUTHWESTERLY ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID RAILROAD, 441.65 FEET TO A POINT OF CURVE IN SAID RIGHT OF WAY LINE; THENCE CONTINUING SOUTHWESTERLY ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID RAILROAD, BEING A CURVED LINE CONVEX TO THE SOUTHEAST AND HAVING A RADIUS OF 2808.0 FEET, A DISTANCE OF 37.53 FEET, ARC MEASURE; THENCE NORTHWESTERLY ALONG A RADIAL LINE OF SAID CURVED LINE, A DISTANCE OF 179.70 FEET TO THE SOUTHEAST CORNER OF THAT TRACT OF LAND CONVEYED BY DOCUMENT NO. 749139 AS STAKED AND OCCUPIED, BEING A POINT ON A LINE DRAWN AT RIGHT ANGLES TO THE NORTH LINE OF SAID QUARTER SECTION THROUGH THE POINT OF BEGINNING AND 368.10 FEET SOUTH OF THE NORTH LINE OF SAID QUARTER SECTION; THENCE NORTH ALONG THE LAST DESCRIBED LINE, 368.10 FEET TO THE POINT OF BEGINNING; ALSO EXCEPTING THE FOLLOWING DESCRIBED PARCEL: THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED BY A LINE DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF THE EAST HALF OF SAID SOUTHEAST QUARTER WHICH IS 480.40 FEET EAST OF THE NORTHWEST CORNER THEREOF; THENCE SOUTH ALONG A LINE DRAWN AT RIGHT ANGLES TO THE NORTH LINE OF SAID SOUTHEAST QUARTER, 422.50 FEET FOR A POINT OF BEGINNING OF THAT PARCEL OF LAND TO BE DESCRIBED; THENCE CONTINUING SOUTH ALONG SAID LINE DRAWN AT RIGHT ANGLES, AS AFORESAID, 30.50 FEET; THENCE WEST ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID QUARTER SECTION, 476.98 FEET TO A POINT ON THE WEST LINE OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 9, THENCE NORTH ALONG SAID WEST LINE, 30.50 FEET; THENCE EAST ALONG A LINE PARALLELY WITH THE NORTH LINE OF SAID QUARTER SECTION; 477.21 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

PARCEL II:

THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE EAST HALF OF THE SOUTHEAST QUARTER; THENCE EAST ALONG THE NORTH LINE OF SAID QUARTER SECTION, 861.80 FEET, MORE OR LESS, TO THE NORTHEAST CORNER OF THAT TRACT OF LAND CONVEYED BY WARRANTY DEED RECORDED JANUARY 29, 1952 AS DOCUMENT NO. 749139 AND FILED IN BOOK 1089 OF RECORDS, AT PAGE 331, AS SAID PROPERTY IS STAKED AND OCCUPIED FOR A POINT OF BEGINNING; THENCE CONTINUING EAST ALONG THE NORTH LINE OF SAID QUARTER SECTION, 352.42 FEET TO THE WESTERLY RIGHT OF WAY LINE OF THE ELGIN, JOLIET AND EASTERN RAILROAD; THENCE SOUTHWESTERLY ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID RAILROAD, 441.65 FEET TO A POINT OF CURVE OF SAID RIGHT OF WAY LINE; THENCE CONTINUING SOUTHWESTERLY ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID RAILROAD, BEING A CURVED LINE, CONVEX TO THE SOUTHEAST AND HAVING A RADIUS OF 2808.0 FEET, A DISTANCE OF 37.53 FEET ARC MEASURE; THENCE NORTHWESTERLY ALONG A RADIAL LINE OF SAID CURVED LINE, A DISTANCE OF 179.70 FEET TO THE SOUTHEAST CORNER OF THAT TRACT OF LAND CONVEYED BY DOCUMENT NO. 749139, AS STAKED AND OCCUPIED, BEING A POINT ON A LINE DRAWN AT RIGHT ANGLES TO THE NORTH LINE OF SAID QUARTER SECTION THROUGH THE POINT OF BEGINNING AND 368.10 FEET SOUTH OF THE NORTH LINE OF SAID QUARTER SECTION; THENCE NORTH ALONG THE LAST DESCRIBED LINE, 368.10 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART THEREOF HERETOFORE DEDICATED FOR MCHENRY ROAD (SAR); ALSO EXCEPTING THEREFROM THE FOLLOWING: THAT PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID

SOUTHEAST QUARTER OF SECTION 9; THENCE NORTH 89 DEGREES 33 MINUTES 45 SECONDS WEST (ASSUMED) 33.751 METERS (110.73 FEET) ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER TO THE WESTERLY RIGHT OF WAY BEGINNING; LINE OF THE THENCE E.J. SOUTH AND E. 23 RAILWAY DEGREES 27 CONVEYED MINUTES BY 32 DOCUMENT SECONDS NO. WEST 40477, ALONG SAID POINT WESTERLY ALSO BEING RIGHT-OF-WAY THE POINT OF THE E.J. & E. RAILWAY, 21.628 METERS (70.96 FEET); THENCE NORTH 89 DEGREES 18 MINUTES 29 SECONDS WEST, 25.94 METERS (85.1 D FEET) TO A POINT OF CURVE; THENCE WESTERLY ALONG A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 517.049 METERS (1696.36 FEET) CENTRAL ANGLE W DEGREES 59 MINUTES 44 SECONDS, 72.154 METERS (236.73 FEET) TO THE EAST LINE OF A TRACT OF LAND CONVEYED TO LEON R. WALK AND HILDA WALK BY WARRANTY DEED RECORDED JANUARY 29, 1952 AS DOCUMENT NO. 749139 AND FILED IN SOOK 1089, AT PAGE 331, SAID POINT BEING 14.446 METERS (47.40 FEET DEED, 47.45 FEET MEASURED) SOUTH OF THE NORTHEAST CORNER OF SAID TRACT; THENCE NORTH 00 DEGREES 26 MINUTES 15 SECONDS EAST, 14.463 METERS (47.45 FEET MEASURED) ALONG SAID EAST LINE TO THE SAID NORTH LINE OF THE SOUTHEAST QUARTER SAID POINT ALSO BEING THE NORTHEAST CORNER OF SAID TRACT; THENCE SOUTH 89 DEGREES 33 MINUTES 45 SECONDS EAST, 106.299 METERS (348.75 FEET MEASURED, 352.42 FEET RECORD) TO SAID POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

**EXHIBIT "B"**

**EXHIBIT "C"**

# Forward Stride Stables Site Improvements 24630 N. Old McHenry Road Hawthorn Woods, IL 60047

**Client:**

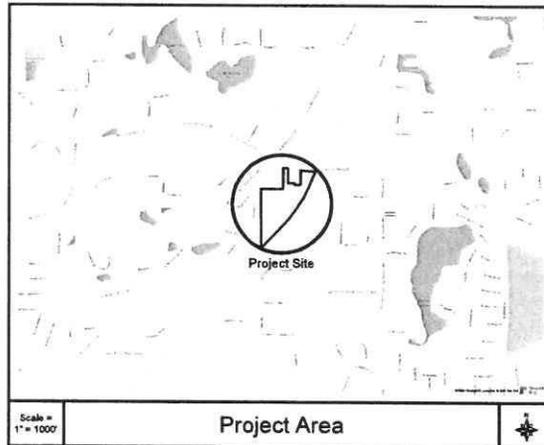
**Forward Stride Stables, LLC**  
Kimberly Wasson  
24630 N. Old McHenry Rd.  
Hawthorn Woods, IL, 60047  
Work: 847-726-3726

**Engineer:**

**Hey and Associates, Inc.**  
26575 West Commerce Drive, Suite 601  
Volo, Illinois 60073  
Office (847) 740-0888  
Fax (847) 740-2888

**Benchmark:**

Cut "X" on rim siphon at south end of west pond  
N 2021696.293, E 10563050.496, Elev = 865.53 NAVD 88  
Surveyor used Lake County Benchmarks 6-4 and 6-11



**Sheet Index:** (Sheet # / Drawing # / Title)

1. C1.0 Cover Sheet
2. C1.1 General Notes
3. C2.0 Existing Conditions
4. C3.0 Site Preparation Plan
5. C4.0 Proposed Plan
6. C4.1 Proposed Plan - Enlargement
7. C5.0 Restoration Plan
8. C6.0 Details
9. C6.1 Details
10. C6.2 Details
11. C6.2 Details

CAD JULIE, 1-800-892-0723 at least 48 hours before start of construction with the following:  
County: Lake  
City or Township: Hawthorn Woods  
Twp. Range & Section: T43N, R10E, Sec. 05  
The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The Contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto.

**PROFESSIONAL SEAL**

Signature: *[Signature]*  
Date: August 22, 2022  
License Expires: November 30, 2022  
This document shall not be considered a valid technical drawing unless it bears an original seal and signature.

Base Survey Information provided by:  
**Dietz Surveying, Inc.**  
Hey and Associates, Inc.

No.	Revision	Date

**Hey and Associates, Inc.**  
Engineering, Surveying and Landscape Architecture  
36575 WEST COMMERCE DRIVE, SUITE 601  
VOLO, ILLINOIS 60073  
OFFICE (847) 740-0888  
FAX (847) 740-2888  
Volo@HEYASSOC.COM  
PROFESSIONAL DESIGN FIRM  
LICENSE NO. IL-0620429

**Forward Stride Stables  
Site Improvements**

**Cover Sheet**

FILE #	24-038	DATE
DATE	08/22/2022	1 of 11

**For Permit**

**GENERAL NOTES AND CONSTRUCTION SPECIFICATIONS**

- The "Standard Specifications for Road and Bridge Construction," State of Illinois, Department of Transportation, adopted January 1, 2022, "Supplemental Specifications and Naming Special Provisions" adopted January 1, 2022, and revisions thereto, and their amendments shall apply to all work under this contract.
- The Contractor shall obtain, erect, maintain and remove all signs, barricades, flagmen and other control devices as may be necessary for the purpose of regulating, warning or guiding traffic. Placement and maintenance of all traffic control devices shall be in accordance with the applicable parts of Article 1106 of the "Standard Specifications and the "Standard Specifications for Traffic Control Items".
- Location of utilities shown on plans is approximate only and is not necessarily complete. Contractor shall make his own investigations as to location of all existing underground structures, cables and pipe lines.
- Existing utility lines of any nature are encountered which conflict in location with new construction, the Contractor shall notify the Consultant and Owner so that the conflict may be resolved.
- The Contractor shall notify U.S.E.C. (1-800-433-0713) at least ten days prior to construction so that each utility company can make out any underground requirements that they may have which might interfere with the proposed construction.
- The Contractor shall be required to make arrangements for the proper bracing, shoring and other required protection of all roadways, structures, poles, cables and pipe lines. Unless construction begins, he shall be responsible for any damage to the streets or roadways and associated structures and shall make repairs as necessary to the satisfaction of the Consultant and Owner at his own expense.
- The Contractor shall be responsible for the protection of all private and public utilities even though they may not be shown on the plans. Any utility that is damaged during construction shall be repaired or replaced to the satisfaction of the Consultant and Owner by the Contractor at his own expense.
- The Contractor shall examine all plans and specifications, visit the site of work and inform himself fully with the work involved, general and local conditions, all Federal, State and local laws, ordinances, rules and regulations and all other pertinent items which may affect the cost and time of completion of this project before submitting a proposal.
- All work and materials shall be in accordance with code requirements.
- Permits and licenses of a temporary nature necessary for the prosecution of the work shall be secured and paid for by the Contractor.
- Prior to submitting his bid, the Contractor shall call the attention of the Consultant to any material or equipment he deems inadequate and to any form of work omitted.
- The Contractor shall restore any area disturbed outside the construction site to a condition equal to or better than its original use. This shall include proper grading, establishment of a vegetative cover (seeding or sod), general cleanup and pavement rehabilitation.
- The Contractor shall be responsible for providing safe and healthful working conditions throughout the construction of the proposed improvements.
- The Contractor shall provide a written work schedule, and shall update said schedule as required. A minimum twenty-four (24) hour notice shall be given for any item that requires approval or inspection.
- All to be removed or removed during construction of this project shall be replaced by the Surety and cost of replacement shall be paid by the Contractor.
- Before acceptance by the Owner and final payment, all work shall be inspected and approved by the Consultant and Owner. Final payments shall be made after all of the Contractor's work has been approved and accepted.
- The Contractor will have in his possession on the job site a copy of the plans and specifications during construction.
- Any approved final items are required the Contractor shall contact the Consultant for approval.
- All bid drawings shall be prepared by the Contractor and submitted to the Consultant as soon as the site improvements are completed. Any change in length, location or alignment shall be shown in red. Final payments will not be issued until satisfactory as-built plans have been submitted.
- All horizontal coordinates are based on Illinois State Plane coordinates. East Zone, North American Datum of 1983 (NAD83). All vertical elevations are based on U.S.G.S. North American Vertical Datum of 1988 (NAVD88).
- The Contractor is responsible for coordinating any required inspections with the same Consultant and other agencies.
- Special attention is drawn to the fact that Article 100.0 of the Standard Specifications requires the Contractor to have a completed memorandum on the project site at all times, irrespective of the amount of work under. The superintendent shall be capable of reading and understanding the plans and specifications, shall have full authority to execute orders to expedite the project, shall be responsible for scheduling and have control of all work as the agent of the Contractor. Failure to comply with this provision will result in a suspension of work as provided in Article 100.07.
- The Consultant and Owner are not responsible for the construction means, methods, techniques, sequence or procedures, time of performance, programs or for any safety precautions used by the Contractor. The Contractor is solely responsible for execution of his work in accordance with the contract documents and specifications.

**EARTHWORK AND GRADING CONSTRUCTION**

All work done under this heading will be done in accordance with applicable provisions of the "Standard Specifications for Road and Bridge Construction," State of Illinois, Department of Transportation, adopted January 1, 2022.

- Work under this section shall include, but not be limited to, the following:
  - Clearing and removal of all undesirable vegetation within the construction area as noted otherwise on the plans.
  - Removing undesirable materials as specified from parking, building, and other designated areas.
  - Excavation and grading of the entire site per plan, including construction of berms, etc., as shown on these plans.
  - Placement and construction of structural and non-structural fills.
  - If required, removal from site and disposal of any excess or unsuitable material upon completion of earth grading.
  - Movement and compaction of spoil material from the construction of underground utilities.
  - Final grading and trimming to the lines, grades and cross-sections shown in these plans, and typical pavement to design finish grade elevations.
  - Soil erosion control measures in accordance with the applicable specifications and safety requirements.
  - Set fence as shown in the construction plans and be erected prior to mass earthwork.
  - It is the Contractor's responsibility to determine all material quantities and expense thereof of all site conditions. No claims for extra work will be recognized unless ordered in writing by the Owner.
  - The grading operations are to be closely supervised and inspected, particularly during the removal of undesirable material and the construction of embankments, by the geotechnical engineer or his representative. All mining, inspection and supervision of soil quality, unsuitable removal and its replacement, and other soils related operations shall be under the responsibility of the geotechnical engineer.
  - The grading and construction of new site improvements shall not cause ponding of stormwater except as noted on the plans. All areas adjacent to these improvements shall be graded to allow positive drainage.
  - The proposed grading elevations shown on the plans are final grade. A minimum of six inches (6") of finished to be placed before final grade elevations are achieved, except where noted otherwise.
  - All disturbed areas to be seeded or seeded with 100% (One) (1) clover mixture, seed mixture unless otherwise specified in the Restatement Plan.

**STORM DRAIN CONSTRUCTION**

- All storm drain construction shall be in accordance with the "Standard Specifications for Road and Bridge Construction," State of Illinois, Department of Transportation, adopted January 1, 2022, and revisions thereto, and the notes in the plan.
- Existing field tile encountered at an elevation above the proposed drain-age system shall be connected to the drainage system by a method approved by the Engineer. The cost of this work shall be considered incidental to the cost of construction.
- Existing field tile encountered at an elevation below the proposed drainage system shall be replaced by a method approved by the Engineer. The usual method will be to sleeve the field tile with rigid pipe and back the sleeve. The cost of this work shall be considered incidental to the cost of construction.
- All best and sections (FES) shall receive standard grading for concrete lined and sections per DOT specifications.
- Structures for storm drains shall be in accordance with the improvement plans and the applicable standard specifications. Where a greater trench height is required around these structures, the cost shall be considered as incidental and shall be included in the contract unit price for the structure.

**SEDIMENTATION AND EROSION CONTROL NOTES**

- Sediment control measures shall be installed prior to the commencement of topsoil disturbance of sediment areas.
- For those developments that require a designated erosion control inspector (DECI), inspections and documentation shall be performed, at a minimum:
  - Upon completion of sediment and runoff control measures (including perimeter controls and diversions), prior to proceeding with any other earth disturbance or grading.
  - After every seven (7) calendar days or storm event with greater than 0.5 inch of rainfall or liquid equivalent precipitation.
- Soil disturbance shall be conducted in such a manner as to minimize erosion. If blowing, clearing, grading, or backfilling are to be done in phases, the contractor shall plan for appropriate soil erosion and sediment control measures.
- Disturbed areas shall be stabilized with temporary or permanent measures within seven (7) calendar days following the end of active hydrologic disturbance or re-disturbance.
- All structures shall have appropriate measures to prevent erosion. Structures shall not be placed in flood prone areas or wetlands and designated buffers.
- Appropriate erosion control measures shall be included on all erosion control basin site plans between the normal water level and high water level.
- Storm sewers that are or will be functioning during construction shall be protected by an appropriate sediment control measure.
- If diverting services are used, adjoining properties and discharge locations shall be protected from erosion and sedimentation. Discharges shall be treated through an approved erosion polymer dosing system or a similar measure as approved by the Enforcement Officer. Dosing systems should be inspected daily during operational periods. The Enforcement Officer, or approved representative, must be present at the commencement of dosing activities.
- Installed soil erosion and sediment control measures do not prevent sediment leaving the development site, additional measures such as erosion polymers or filtration systems may be required by the Enforcement Officer.
- All temporary and permanent erosion control measures must be maintained and repaired as needed. The property owner shall be ultimately responsible for maintenance and repair.
- All temporary sediment control measures shall be removed within 30 days after final site stabilization is achieved or after the temporary measures are no longer needed.
- The erosion control measures indicated on the plans are the minimum requirements. Additional measures may be required, as directed by the Engineer, Enforcement Officer, or other governing agency.

**LEGEND**

No.	Revision/Issue	Date

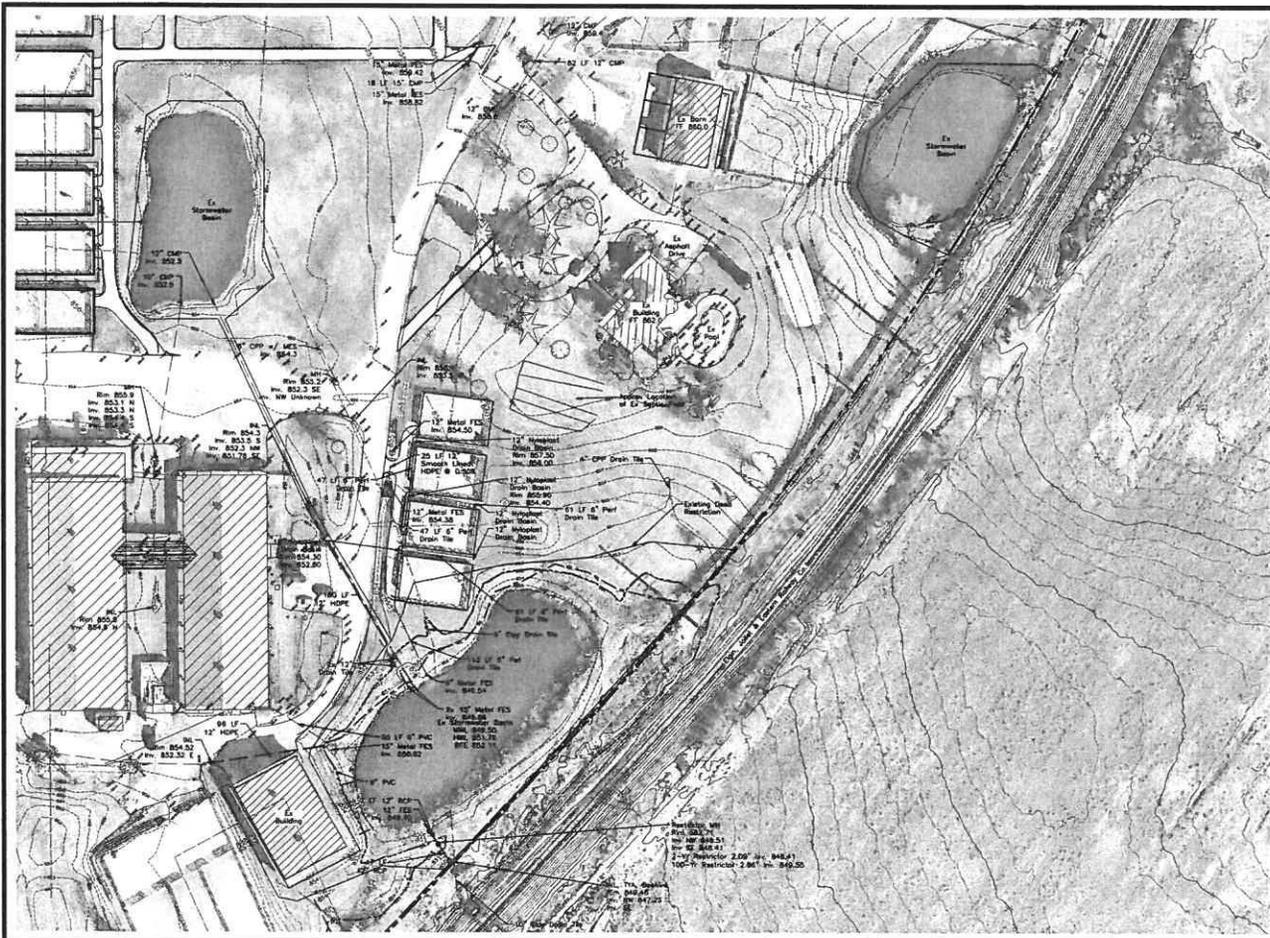
**Hey and Associates, Inc.**  
 Engineering, Surveying and Landscape Architecture  
 26575 WAGON COURSE DRIVE, SUITE 600  
 VAILLANT, ILLINOIS 60072  
 OFFICE (847) 741-8888  
 FAX (847) 741-2888  
 VONIG@HEYASSOC.COM  
 PROFESSIONAL DESIGN FIRM  
 LICENSE NO. 184034229

**Forward Stride Stables  
 Site Improvements**

**General Notes**

PROJECT NO.	2540398	DATE	08/20/2022
DRAWN BY	KNJ	CHECKED BY	C1.1
DESIGNED BY	ENJ	DATE	08/20/2022
PROJECT NO.	2540398	DATE	08/20/2022
SCALE	AS SHOWN	SHEET NO.	2 OF 11

**For Permit**



0 40 80  
Scale in Feet

**LEGEND**

Property Boundary  
 Existing Contours - Linn County 2017  
 Existing Contours - Surveyed  
 Fences  
 Base Flood Elevation (BFE 11)  
 Water Line  
 Wetland Line  
 Wetland Buffer (30')  
 Existing Structures  
 Existing Storm Sewer  
 Existing Drain Tile  
 Existing Underground Electrical  
 Existing Underground Telephone  
 Existing Ceed Restriction  
 Existing Storm Manhole (MH)  
 Existing Inlet (PIL)  
 Existing Flared End Section (FES)  
 Existing Spot Elevation

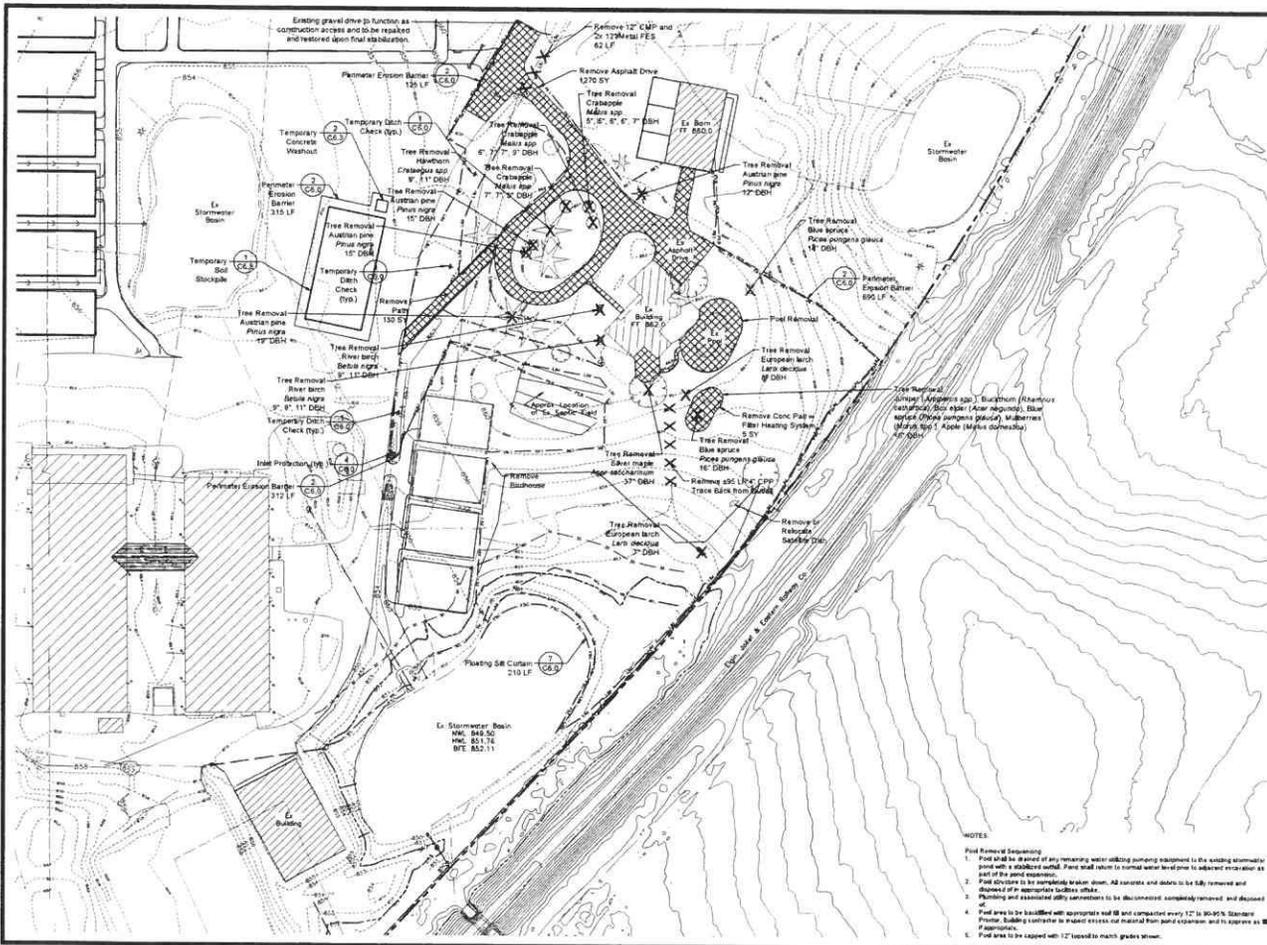
**Hey and Associates, Inc.**  
 Engineering, Ecology and Landscape Architecture  
 26375 WEST COLUMBIAN DRIVE, SUITE 601  
 VOLGA, ILLINOIS 60073  
 OFFICE (847) 740-6888  
 FAX (847) 740-2888  
 VHA@HEYASSOC.COM  
 PROFESSIONAL DESIGN FIRM  
 LICENSE NO. 184002429

**Forward Stride Stables  
 Site Improvements**

**Existing Conditions**

PROJECT NO.	24-030	DRAWING NO.	<b>C2.0</b>
DATE	04/20/2024	SCALE	
DRAWN BY	DAM	CHECKED BY	
APPROVED BY	DAM	DATE	
ISSUE DATE	06/20/2024	SHEET NO.	3 OF 11

**For Permit**



0 40 80  
Scale in Feet

**LEGEND**

Property Boundary  
 Existing Contours - Lake County 2017

Existing Contours - Surveyed

Fences  
 Base Flood Elevation (82.11)  
 Water Line  
 Wetland Line  
 Wetland Buffer (30')  
 Existing Structures

Removals  
 Perimeter Erosion Barrier  
 Heating Oil Cistern  
 Existing Storm Manhole (SM)  
 Existing Flared End Section (FES)  
 Existing Spot Elevation  
 Inlet Projection  
 Temporary Ditch Check  
 Ex. Tree to be removed

NO.	REVISION/ISSUE	DATE

**Hey and Associates, Inc.**  
 Engineering, Surveying and Landscape Architecture  
 26275 WOODY CLOVERBUSH DRIVE, SUITE 601  
 VULSO, ILLINOIS 60473  
 OFFICE (847) 746-2888  
 FAX (847) 746-2889  
 VULSO@HAYASOCI.COM  
 PROFESSIONAL DESIGN FIRM  
 LICENSE N.H. 144-002429

**Forward Stride Stables  
 Site Improvements**

**Site Preparation**

PROJECT NO. 214056      DATE REVISED

REVISED BY	DATE

C3.0

FOR PERMIT

- NOTES**
1. Fuel removal equipment  
 Fuel shall be stored in any remaining water lifting pumping equipment to the existing stormwater pond with a double wall. Pans shall return to normal water level prior to adjacent excavation as part of the pond expansion.
  2. Fuel cisterns to be removed shall remain. All concrete and steel to be fully removed and disposed of in appropriate facilities off-site.
  3. Plumbing and associated pipe connections to be disconnected, capped, removed, and disposed of.
  4. Fuel area to be backfilled with appropriate soil to and compacted every 12" to 16" depth. Former building contractor to inspect areas of material from pond expansion and to approve as of appropriate.
  5. Fuel area to be capped with 12" thick in-mass grades stone.



NOTES:  
Construction of the basin expansion shall occur during low water periods.



Scale in Feet  
0 40 80

**LEGEND**

- Property Boundaries
- Existing Contours - Lake County 2017
- Existing Contours - Surveyed
- Proposed Contours
- Base Flood Elevation (BFE 11)
- Water Line
- Wetland Line
- Existing Deed Restriction
- Proposed Deed Restriction
- Proposed Storm Sewer
- Existing Structures
- Proposed Structures
- PCC Sidewalk
- Hot-mix Asphalt (HMA)
- Gravel Pad
- Prop. Flood End Section (FES)

No.	Description	Date

**Hey and Associates, Inc.**  
 Engineering, Eeking and Landscape Architecture  
 26575 VOSS COMMONS DRIVE, SUITE 400  
 VERNON HILLS, IL 60073  
 OFFICE: (847) 741-5000  
 FAX: (847) 741-2888  
 VEMAIL@HEYASSOCIATES.COM  
 PROFESSIONAL DESIGN FIRM  
 LICENSE NO. 1841002429

**Forward Stride Stables  
Site Improvements**

**Proposed Plan**

FILE #	DATE	BY	APP. BY

C4.0

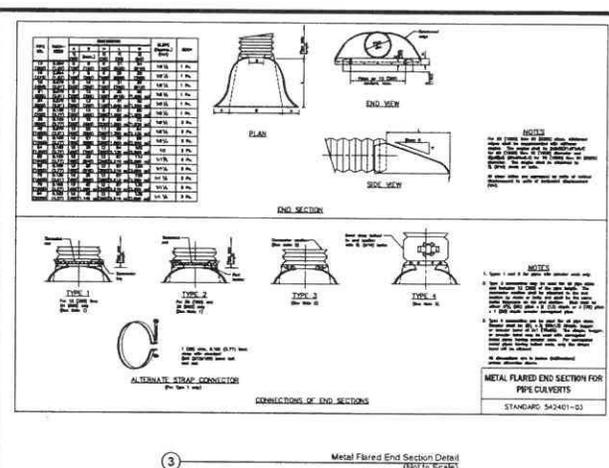
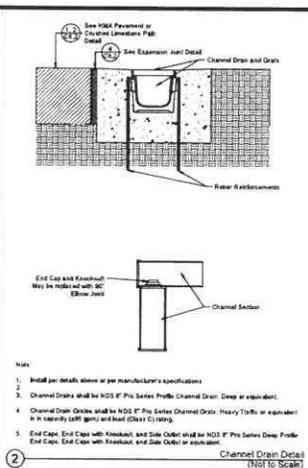
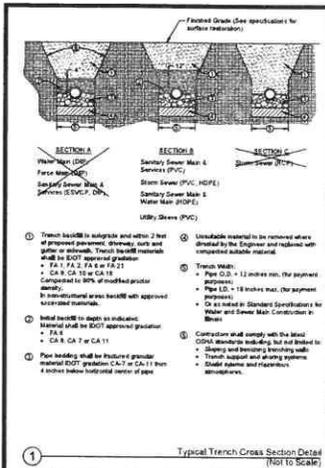
DATE	BY	APP. BY

**For Permit**









Scale bar measures 1" at full scale

0 1"

LEGEND

NO. Revision/Issue Date

Hey and Associates, Inc.  
 Engineering, Ecology and Landscape Architecture  
 2675 W. 60th CROSSING DRIVE, SUITE 600  
 VERO BEACH, FL 32907  
 OFFICE (887) 746-8888  
 FAX (887) 746-2888  
 VERO@HEYASSOC.COM

PROPOSED BY: DESIGN FIRM  
 LICENSE NO. 184,002,929

Forward Stride Stables  
 Site Improvements

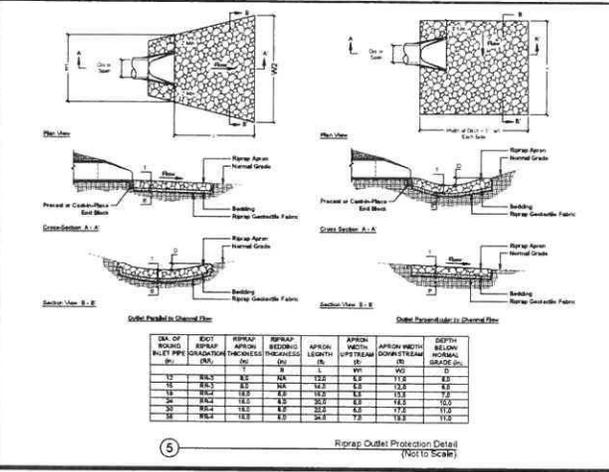
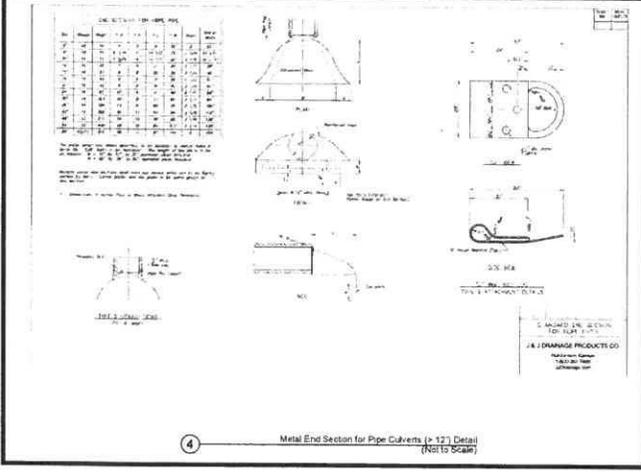
Details

PROJECT NO. 21-0206 REVISED BY

DESIGNED BY: RBJ  
 DRAWN BY: GAK  
 CHECKED BY: GAK  
 DATE: 06/20/2012 P. 11

For Permit

C6.1



NO. Revision/Issue Date

Hey and Associates, Inc.  
 Engineering, Ecology and Landscape Architecture  
 2675 W. 60th CROSSING DRIVE, SUITE 600  
 VERO BEACH, FL 32907  
 OFFICE (887) 746-8888  
 FAX (887) 746-2888  
 VERO@HEYASSOC.COM

PROPOSED BY: DESIGN FIRM  
 LICENSE NO. 184,002,929

Forward Stride Stables  
 Site Improvements

Details

PROJECT NO. 21-0206 REVISED BY

DESIGNED BY: RBJ  
 DRAWN BY: GAK  
 CHECKED BY: GAK  
 DATE: 06/20/2012 P. 11

For Permit

C6.1

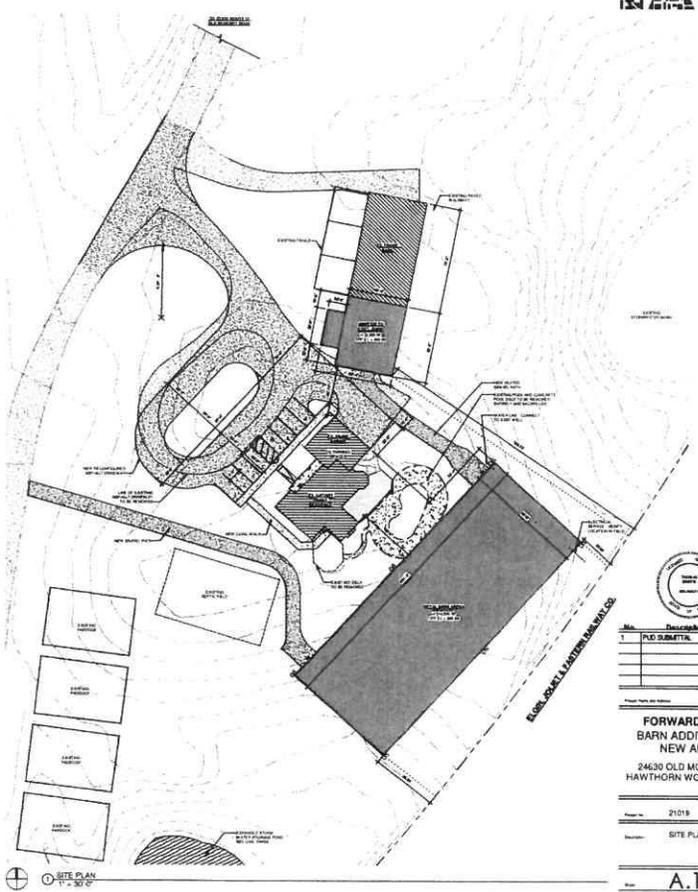
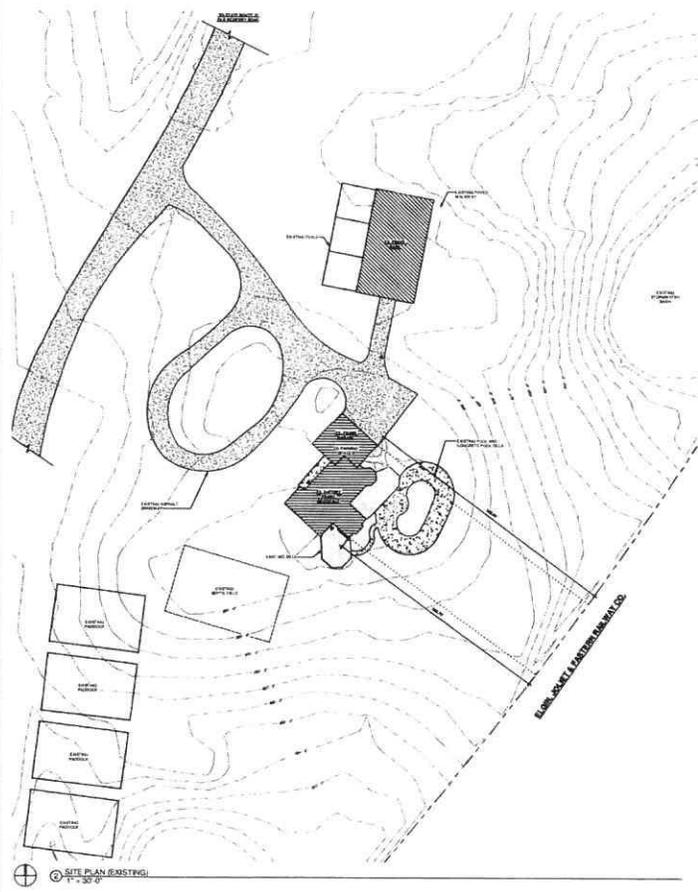








W:\Projects\04\_Compact\Forward Stride Barns\021119\_01\_Site Addition and New Arena\Project 4\_Compact\04\_Compact\021119\_01\_Site Addition and New Arena.dwg



NO.	DESCRIPTION	DATE
1	PLO SUBMITTAL	04/17/2022

Project Name: Old Market  
**FORWARD STRIDE  
 BARN ADDITION AND  
 NEW ARENA**  
 24630 OLD MCHENRY RD  
 HAWTHORN WOODS, IL 60047  
 Project No.: 21019  
 Drawing: SITE PLAN  
 Date: **A.1**











**CHRISTOPHER B. BURKE ENGINEERING, LTD.**

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

September 2, 2022

Village of Hawthorn Woods  
2 Lagoon Drive  
Hawthorn Woods, IL 60047

Attention: Erika Frable, Director of Public Works/Village Engineer

Subject: Forward Stride Stables Site Improvements  
24630 N. Old McHenry Road  
Second Review  
(CBBEL Project No. 02-65H274)

Dear Erika:

Christopher B. Burke Engineering, Ltd. (CBBEL) has completed its review of the following documents:

- Comment-Response Letter by Hey and Associates, Inc. dated August 22, 2022.
- Watershed Development Permit (WDP) Application dated August 16, 2022.
- Forward Stride Stables Site Improvements Plan Set by Hey and Associates, Inc. dated August 22, 2022.
- Forward Stride Stables Site Improvements Stormwater Report by Hey and Associates, Inc. dated August 22, 2022.
- Stormwater Management System Maintenance Plan for New Facilities.

The project site is approximately 21 acres and contains no mapped regulatory floodplain or floodway but does contain site-specific Base Flood Elevation, which was studied as part of a previously approved redevelopment. The project is considered a Major Development with respect to the Lake County Watershed Development Ordinance (WDO). We have reviewed the project for compliance with the Lake County WDO and standard engineering practices. We offer the following comments:

**Stormwater and Floodplain Review**

1. The development site contains site-specific Base Flood Elevation (BFE). The applicant's engineer should address the following comments regarding the site-specific BFE:
  - a. A with-project BFE determination should be provided to determine the High Water Level (HWL) of the modified detention basin. A BFE analysis for the 2016 project was provided, but a new BFE analysis must be conducted which incorporates the currently proposed improvements.
  - b. Calculations should be provided which demonstrate that the proposed metal barn arena meets the Flood Protection Elevation (FPE) requirements of the WDO. These should include the updated BFE analysis as well as calculations

for the 100-year critical runoff and water surface elevations in the proposed swales on the west and east sides of the barn arena.

2. Some of the values in the "Stormwater Data Summary" of the WDP application do not match the values provided in the stormwater report. The applicant's engineer should revise these values accordingly.
3. The applicant's engineer should address the following comments regarding the plan set:
  - a. Though the comment-response letter stated that Lake County Stormwater Management Commission (SMC) Typical Construction Sequencing had been included in the plan set, it is not shown on the plan set. The SMC Typical Construction Sequencing should be added to the plan set.
  - b. Spot shots should be provided along the detention basin's existing overtop weir to demonstrate that the elevation of 851.83 feet associated with the required detention volume is met.
4. The applicant's engineer should address the following comments regarding the stormwater report:
  - a. Two different places in the stormwater narrative state that the total disturbance is 2.06 acres and 2.31 acres. It appears that the value of 2.31 acres is correct, and the narrative should be updated accordingly.
  - b. Supporting calculations for the time of concentration "Event" in the "Discharge Calculation: Rational Method" should be provided for review.
  - c. Supporting calculations for the runoff coefficients "C" in the "Discharge Calculation: Rational Method" should be provided for review. Some of the C values appear to be low, as most of the project tributary areas are not fully pervious.
  - d. In the "Discharge Calculation: Rational Method," it appears that rainfall depths were utilized to calculate flow instead of intensities. The flow values should be recalculated using the appropriate intensities.
  - e. The "Storm Sewer Sizing Calculations" and swale calculations should be revised per Comments 4b, 4c, and 4d, as necessary.
  - f. In the "Storm Sewer Sizing Calculations," the Manning's n values for the HDPE pipes should be revised to be consistent.
  - g. Hydraulic Grade Line (HGL) calculations should be provided for the proposed storm sewers in addition to the "Storm Sewer Sizing Calculations."
5. The proposed stormwater management system (swales, culverts, and expanded detention basin) must be placed in a deed or plat restriction per WDO §500.08. It is our understanding that the existing deed restriction will be modified to include the proposed detention basin expansion and that the applicant is requesting the Enforcement Officer waive the requirement to place the swales and storm sewers/culverts in a deed or plat restriction since they serve a single property. CBBEL concurs with this approach, provided that the Village approves.
6. The response regarding the functioning of the detention basin outlet system is not sufficient. During all past site visits, the existing outlet for the detention basin has been

surcharged. This is not how it was intended to function under normal conditions. The applicant's engineer must incorporate measures to remediate this into the plans for the proposed expansion.

7. The previous comment regarding the existing swale has not been addressed. Revisions to this swale should be included in the current plans as part of this project.

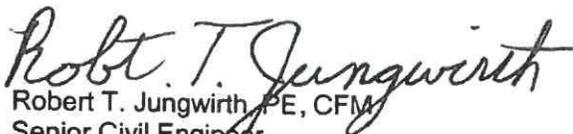
#### **Wetland and Buffer Review**

8. It is our understanding that one (1) isolated wetland was determined to be on the project site and that a wetland delineation report will be provided at a future date. The proposed plan indicates the isolated wetland will be utilized for detention. The proposed project must meet all applicable requirements of WDO Article 10, and an updated Category IV wetland permit application shall be submitted. Additional comments will be provided upon review of the wetland delineation report and Category IV application.
9. The applicant must meet the buffer requirements of the WDO, including addressing the following comments regarding the wetland buffer:
  - a. The wetland buffer should be delineated on the plan set.
  - b. Buffer averaging calculations should be provided for the proposed project.

#### **Soil Erosion and Sediment Control Review**

10. Since the project disturbs greater than one (1) acre but less than five (5) acres, a sediment trap is required at the downstream portion of the project site. The sediment trap must be designed per the standards of the Illinois Urban Manual (IUM). CBBEL recommends that the applicant's engineer design the proposed basin expansion to double as a sediment trap in order to meet WDO requirements and to prevent the need for additional disturbance.
11. Since the project proposes greater than one (1) acre of disturbance, an Illinois Environmental Protection Agency (IEPA) National Pollutant Discharge Elimination System (NPDES) ILR10 Construction Permit will be required. It is our understanding that this permit will be obtained at a later date. Once approved, it should be provided to the Village.

Sincerely,

  
Robert T. Jungwirth, PE, CFM  
Senior Civil Engineer

cc: Chris Heinen, Village of Hawthorn Woods  
Lee Fell, CBBEL  
Darren Olson, CBBEL  
Julie Gangloff, CBBEL  
Andie Maertens-Pizzo, CBBEL

**STORMWATER MANAGEMENT SYSTEM  
MAINTENANCE PLAN FOR NEW FACILITIES**

Subject: 24630 N. Old McHenry Road, Hawthorn Woods, Illinois

SUCH PROPERTY BEING THE REAL PROPERTY DULY PLATTED AS 24630 N. OLD  
MCHENRY ROAD HEREBY MAKES THE FOLLOWING DECLARATIONS OF  
MAINTENANCE RESPONSIBILITIES.

Responsibilities

Adequate provisions for maintenance of the stormwater system are an essential aspect of long-term drainage performance. Responsibility for the overall maintenance shall rest with the property owner.

Purpose and Objective:

Detention and water quality treatment facilities, storm sewers, swales, native vegetation/buffer areas, and the downstream drain tile define a development's stormwater management system. When land is altered to build homes and other developments, the natural system of trees and plants is replaced with impervious surfaces like sidewalks, streets, decks, roofs, driveways, or lawns over highly compacted soils. As a result more rain water / storm water flows off the land at a faster rate and less rain water is absorbed into the soil. This can lead to streambank erosion, downstream flooding and increased concentrations of pollutants. The storm water management system was designed to help slow the rate of runoff from the development and improve the quality of the storm water leaving the site.

Interpretation as to Requirements Under This Maintenance Plan:

The requirement for this Maintenance Plan is generated by the Lake County Watershed Development Ordinance. Therefore, the interpretation of the maintenance requirements set forth in this Maintenance Plan shall be interpreted on the basis of the intent and requirements of said Ordinance.

Inspection Frequency:

Inspection experience will determine the required cleaning frequencies for the components of the stormwater management system. At a minimum, the attached checklist items should be inspected annually. Detention ponds (including the outlet control structure, restrictors, and downstream drain tile) should be inspected on a monthly basis during wet weather conditions from March to November.

Maintenance Considerations:

Whenever possible, maintenance activities should be performed during the inspection. These activities should be supplemented by repair / replacement as required. A Registered Professional Engineer (PE) shall be hired for design resolution of specific items as indicated on the checklist below.

Cost Considerations:

Frequent maintenance program work execution will lead to less frequent and less costly long-term maintenance and repair. The attached checklist items may need to be amended based on experience recorded over the initial period of occupancy of the subdivision.

Record Keeping:

Separate and distinct records shall be maintained by the responsible party for all tasks performed associated with this plan. The records shall include the dates of maintenance visits, who performed the inspection, and a description of the work performed.

\_\_\_\_\_, the owner's agent, has caused these presents to be signed and acknowledged, this \_\_\_\_\_ day of \_\_\_\_\_, 2\_\_\_\_\_.

By: \_\_\_\_\_

## Post-Construction Stormwater Management System Inspection Checklist

The following checklist describes the suggested routine inspection items and recommended measures to be taken to ensure that the Stormwater Management System functions as designed. When hiring a PE is the recommended measure, the PE shall inspect, evaluate and recommend corrective actions. The General section outlines items that should be taken into consideration during inspection and maintenance activities. While performing an overall inspection of your system, please check for the following items.

### General -

- Litter and debris shall be controlled.
- Accumulated sediment shall be disposed of properly, along with any wastes generated during maintenance operations.
- Riprap areas shall be repaired with the addition of new riprap, as necessary, of adequate size and shape.
- Access path to storm water management facilities should be free from obstructions (woodpiles, sheds, vegetation).
- Fences, gates and posts shall be maintained.

### Pond Slopes

- \_\_\_ Settlement. If settlement observed, hire a PE.
- \_\_\_ Breaks or failures. If failure observed, notify the Village immediately and hire a PE.
- \_\_\_ Erosion. Repair as needed.
- \_\_\_ Signs of leakage, seepage or wet spots. If observed, hire a PE.
- \_\_\_ Unwanted growth or vegetation. Remove as needed.

### Shorelines

- \_\_\_ Erosion or rip-rap failures. Repair as needed
- \_\_\_ Undermining. Stabilize and repair as needed.

### Outlet and inlet structure

- \_\_\_ Obstructions blocking outlet pipe, restrictor, channel, spillway, and downstream drain tile. Remove obstructions immediately.
- \_\_\_ Separation of joints. Repair as needed.
- \_\_\_ Cracks, breaks, or deterioration of concrete. Repair as needed
- \_\_\_ Scour and erosion at outlet. If observed, repair (consider additional or alternative stabilization methods).
- \_\_\_ Condition of trash racks. Remove any collected debris.
- \_\_\_ Outlet channel conditions downstream. Stabilize soil or remove obstructions as needed.

### Storage Volume

- \_\_\_\_\_ Facilities shall be inspected to ensure that the constructed volume for detention is maintained. No sediment, topsoil, or other dumping into the facility shall be allowed. If a detention facility includes specific locations designed to accumulate sediment these locations should be dredged every 5-yrs or when 50% of the volume has been lost.
- \_\_\_\_\_ Wet ponds lose 0.5 - 1.0% of their volume annually. Dredging is required when accumulated volume loss reaches 15%, or approximately every 15-20 years.

### Storm Sewers

- \_\_\_\_\_ System is free draining into collection channels or catch basins. If concerned, clean or repair.
- \_\_\_\_\_ Catch basins. Remove sediment when more than 50% of basin sump is filled.
- \_\_\_\_\_ Siltation in Culvert. Culverts shall be checked for siltation deposit, clean out as necessary.

### Swales

- \_\_\_\_\_ All ditches or pipes connecting ponds in series should be checked for debris that may block flow.
- \_\_\_\_\_ Verify systems (both drainage ditches and sideyard swales) are maintaining originally constructed design slope and cross-sectional area. If fill or sediment contributes to elevation changes in swale, re-grading and re-shaping shall be performed. Licensed surveyors shall be hired to lay-out and check grades. No landscaping, earthen fill, gardens, or other obstructions (including sheds and other structures) shall be allowed in the swales that would impede design drainage flow patterns.

### Vegetated Areas

- \_\_\_\_\_ Need for planting, reseeding or sodding of native areas. Supplement alternative native vegetation if a significant portion has not established (50% of the surface area). Reseed with alternative grass species if original grass cover has not successfully established.
- \_\_\_\_\_ Invasive vegetation (refer to the Native Plant Guide for Streams and Stormwater Facilities in Northeastern Illinois, or hire an environmental or landscape specialist). Remove as necessary.

### Wetland Buffers –

- \_\_\_\_\_ Inspect for evidence of erosion or concentrated flows through or around the buffer. All eroded areas should be repaired, seeded and mulched. A shallow stone trench should be installed as a level spreader to distribute flows evenly in any area showing concentrated flows.
- \_\_\_\_\_ All existing undergrowth, forest floor duff layer, and leaf litter must remain undisturbed except in designated paths or permitted encroachment areas.
- \_\_\_\_\_ No tree cutting is allowed except for normal maintenance of dead, diseased and damaged trees or; the culling of invasive, noxious or non-native species that are to be replaced by more desirable and native vegetation.

- \_\_\_\_\_ A buffer must maintain a dense, complete and vigorous cover of "non-lawn" vegetation which should not be mowed no more than once a year. Vegetation may include grass and other herbaceous species as well as shrubs and trees.
- \_\_\_\_\_ Use or maintenance activities within the buffer shall be conducted so as to prevent damage to vegetation and exposure of soil.



2 LAGOON DRIVE - HAWTHORN WOODS, ILLINOIS 60047 - (847) 438-5500

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## FINDINGS OF FACT

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Public Hearing Date:  
September 27, 2022

**Kimberly Wasson - Amendment to the existing special use permit related to the proposed construction of an additional building and other departures from the existing planned unit development such as lot coverage and number of buildings on the property located at 24630 N. Old McHenry Road, Hawthorn Woods, IL.**

*Based upon the evidence presented to the Planning, Building, and Zoning (PB&Z) Commission at the public hearing, the PB&Z Commission makes the following findings of fact with respect to the requested special use permit in connection therewith.*

**9-14-4.B**

1. **That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.**

**Finding:** The PB&Z Commission find that the updates to the site plan and addition of the proposed buildings will benefit the community.

2. **That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity or injurious to property values or improvement in the vicinity.**

**Finding:** The PB&Z Commission finds that the updates to the site plan and proposed buildings will not be detrimental to the health, safety, morals or general welfare. The proposed buildings will enhance the area and will not diminish property values.

3. **That the proposed use will comply with the regulations and conditions specified in this Title for such use, and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.**

**Finding:** The PB&Z Commission finds that the special use will comply with the regulations set forth in this Title.

All of the above Findings of Fact are subject to the conditions of approval made by the PB&Z Commission on September 27, 2022.

Respectfully submitted,

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Jim Merkel, Chairperson

CMH