

ORDINANCE NO. 1963-19

AN ORDINANCE GRANTING A CERTIFICATE OF APPROVAL – WOODMONT LAND COMPANY FOR KIDDIE ACADEMY—HAWTHORN TRAILS PHASE 3, LOT 40—ROMAN DRIVE

WHEREAS, on or about March 7, 2019, Woodmont Land Company, as applicant, and Quentin 37, LLC as owner, filed an application for a Certificate of Approval with respect to the property legally described on **Exhibit "A"** attached hereto and incorporated herein (the "SUBJECT REALTY"); and,

WHEREAS, the Planning, Building and Zoning Commission of the Village of Hawthorn Woods reviewed the application on or about June 25, 2019, and forwarded its recommendation for approval to the Mayor and Board of Trustees on or about July 22, 2019; and,

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Hawthorn Woods, Lake County, Illinois, as follows:

SECTION ONE: That passage of this Ordinance shall constitute issuance of a Certificate of Approval, pursuant to Sections 2-2-6 and 9-3-11 of the Village Code, with respect to the Site Plan, Conceptual Engineering Plan, and Auto Turn Analysis prepared by Pearson, Brown & Associates, Inc. dated May 14, 2019, each consisting of one (1) sheet, included in **Exhibit "B"**; and

SECTION TWO: That passage of this Ordinance shall constitute issuance of a Certificate of Approval, pursuant to Sections 2-2-6 and 9-3-11 of the Village Code, with respect to the Floor Plan, Concept Elevations, Details, and Rendering prepared by Jarmel Kizel Architects and Engineers, Inc., dated April 11, 2019 with a most recent revision date of June 14, 2019, as Project Number KAIL18-343, consisting of four (4) sheets, included in **Exhibit "C"**; and

SECTION THREE: That passage of this Ordinance shall constitute issuance of a Certificate of Approval, pursuant to Sections 2-2-6 and 9-3-11 of the Village Code, with respect to the

Landscape Plan prepared by Allen L, Kracower & Associates, Incorporated, dated March 20, 2019 with a most recent revision date of May 15, 2019, as Project Number 21902.1, consisting of three (3) sheets, included in **Exhibit “D”**; and

SECTION FOUR: That passage of this Ordinance shall constitute issuance of a Certificate of Approval, pursuant to Sections 2-2-6 and 9-3-11 of the Village Code, with respect to the Photometric Plan prepared by Sternberg Lighting for Jarmel Kizel Architects and Engineers, Inc., dated April 16, 2019 with a most recent revision date of June 14, 2019, consisting of one (1) sheet; specification sheets generated by Sternberg Lighting, date stamped May 13, 2019, consisting of thirteen (13) sheets; and Material/Color Board prepared by Jarmel Kizel Architects and Engineers, Inc., dated April 11, 2019, as Project Number KAIL 18-343, consisting of one (1) sheet, included in **Exhibit “E”**; and

SECTION FIVE: That the passage of this Ordinance shall constitute issuance of a Certificate of Approval, pursuant to 2-2-6 and 9-3-11 of the Village Code, with respect to the staff and consultant review comments, and response letters from Jarmel Kizel dated June 14, 2019, attached as **Exhibit “F”**.

SECTION SIX: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION SEVEN: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

The foregoing Ordinance was passed by a roll call vote as follows:

AYES: Kaiser, Bosik, Rizzo, Carrigan, Dimaggio

NAYS: 0

ABSENT AND NOT VOTING: David

APPROVED: Joseph Mancino
Joseph Mancino, Mayor

ATTEST: Donna Lobaito
Donna Lobaito, Village Clerk

PASSED: July 22, 2019

APPROVED: July 22, 2019

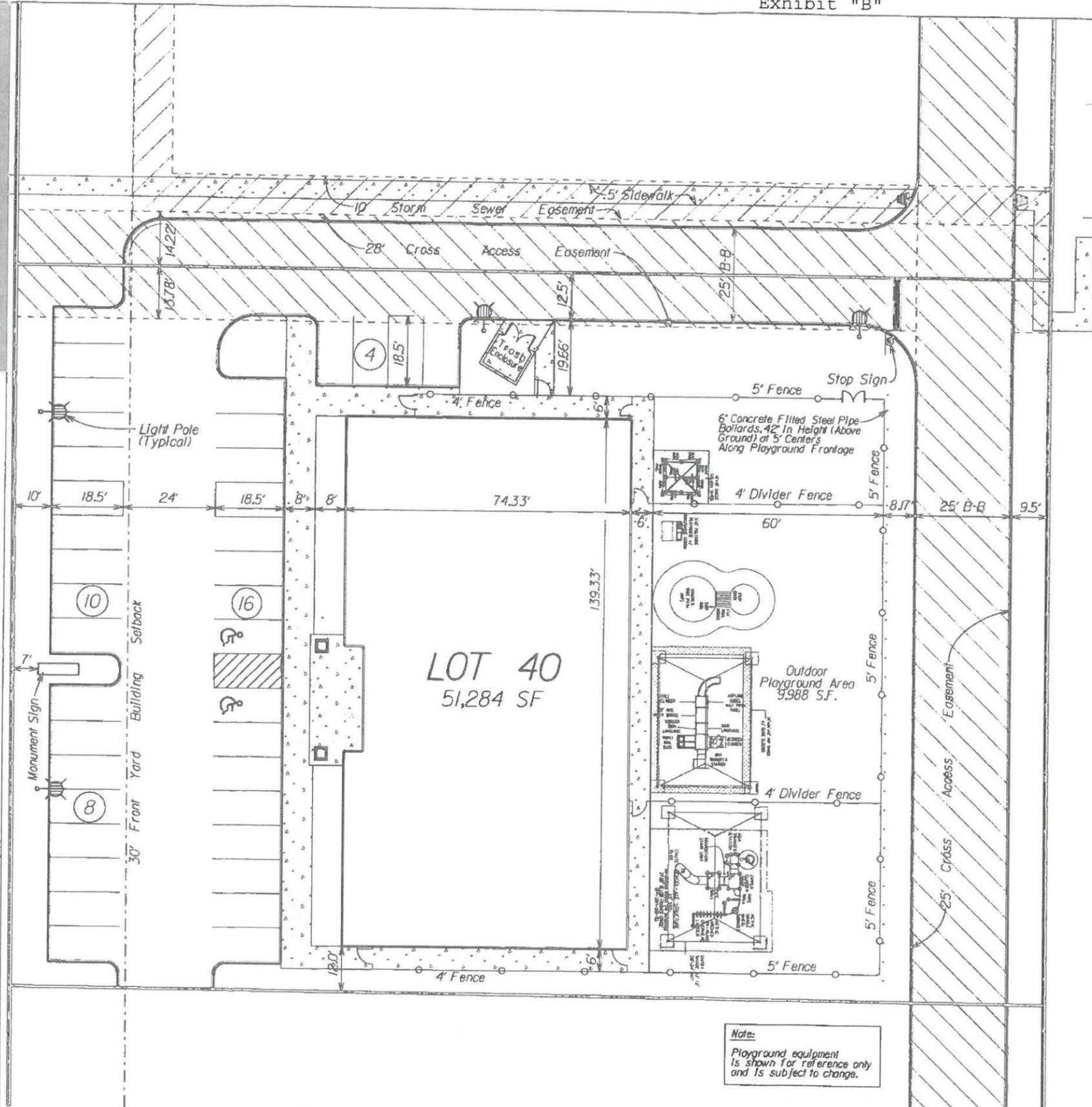
LEGAL DESCRIPTION

Lot 40 in Hawthorn Trails Phase 3, being a resubdivisions of part of the East $\frac{1}{2}$ of the Southwest $\frac{1}{4}$ of Section 15, Township 43 North, Range 10 East of the Third Principal Meridian, in Ela Township, according to the Plat of Subdivision recorded June 2, 2017 as Document 7399532, in Lake County, Illinois.

SITE DATA

Total Property Area	51,284 sf.
Building Area	10,219 sf.
Maximum F.A.R.	25%
Proposed F.A.R.	20.5%
Maximum Impervious Coverage	70%
Proposed Impervious Coverage	32,585 sf. (not including playground)
Impervious Allowance for Playground	3,313 sf.

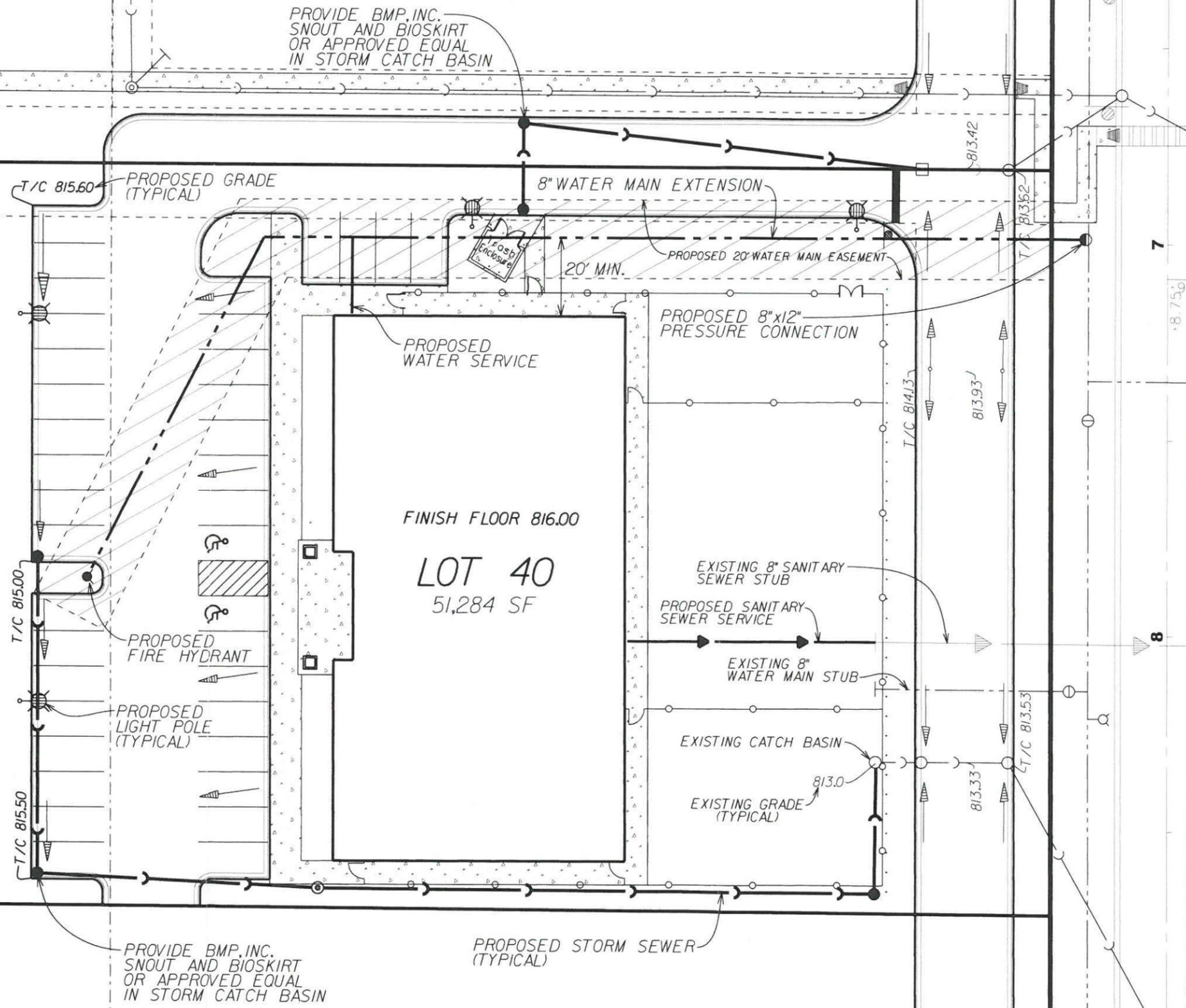
QUENTIN ROAD



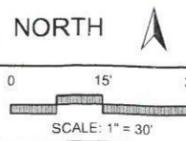
PEARSON, BROWN & ASSOCIATES, INC. CONSULTING ENGINEERS 1850 W. WINCHESTER ROAD - SUITE 205 LIBERTYVILLE, IL. 60048 PHONE: (847) 367-6707 FAX: (847) 367-2567 E-MAIL ADDRESS: pba@pearsonbrown.com	NORTH	TITLE: SITE PLAN	RECEIVED JUL 11 2010 PROJECT: KIDDIE ACADEMY HAWTHORN WOODS, IL	EXHIBIT 1
	SCALE: 1" = 30' 	PROJECT NO.: 1908 DATE: 05/14/19		

QUENTIN ROAD

817.80
817.80
817.40
817.20
817.80
817.60
818.00



PEARSON, BROWN & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 1850 W. WINCHESTER ROAD - SUITE 205
 LIBERTYVILLE, IL. 60048
 PHONE: (847) 367-6707
 FAX: (847) 367-2567
 E-MAIL ADDRESS: pba@pearsonbrown.com



TITLE:
CONCEPTUAL ENGINEERING PLAN

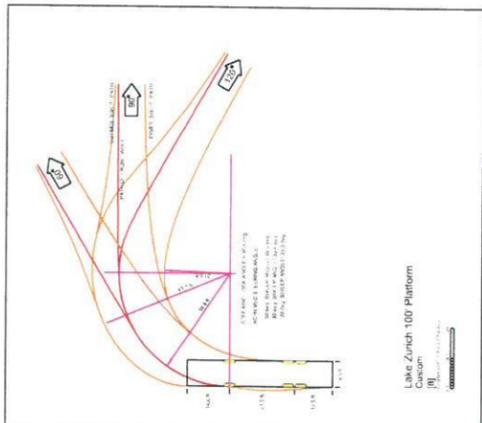
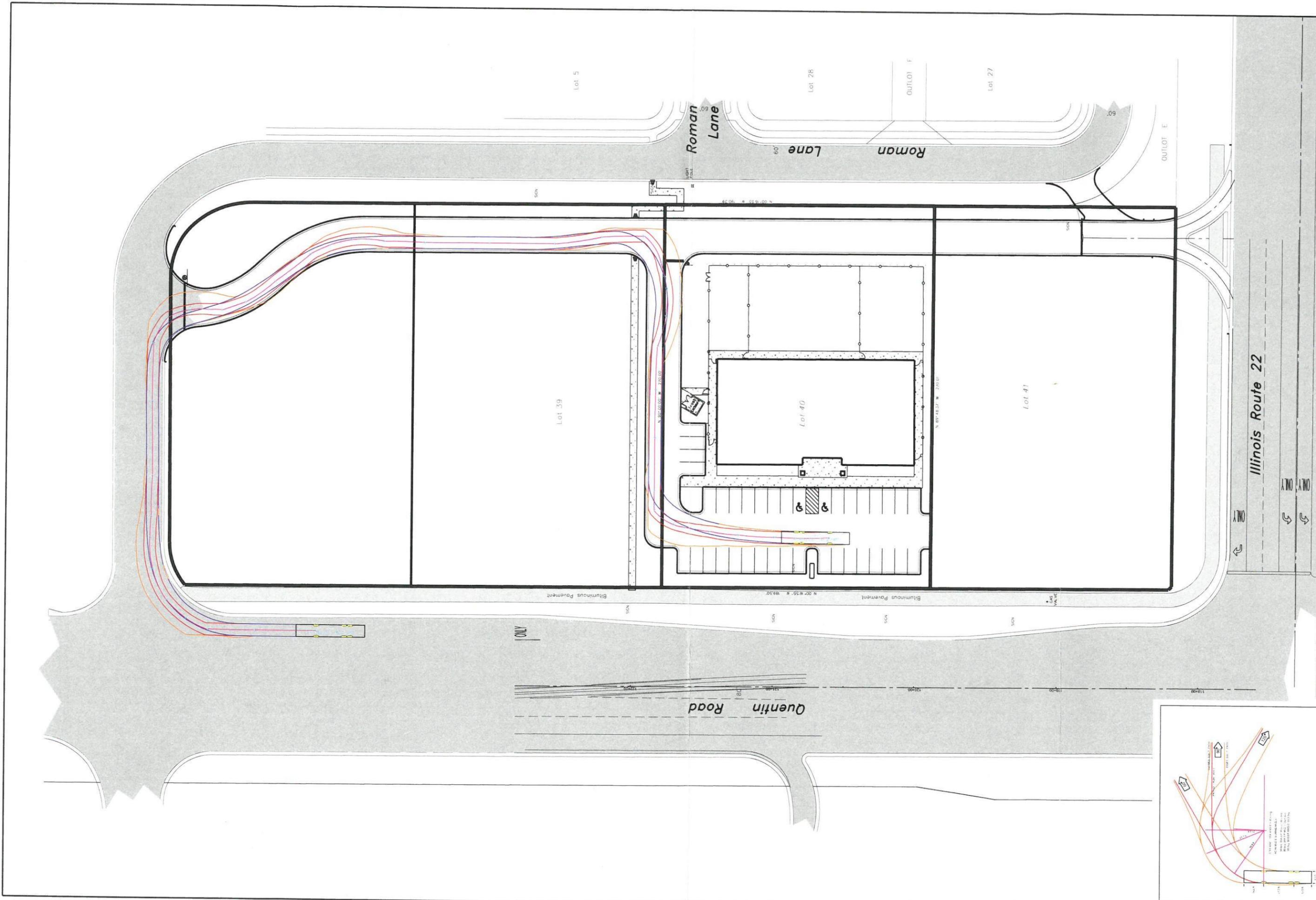
PROJECT:
KIDDIE ACADEMY

HAWTHORN WOODS, IL

RECEIVED JUL 11 2019

PROJECT NO.: 1909 DATE: 05/14/19

EXHIBIT
2



PEARSON, BROWN & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 1850 W. WINCHESTER ROAD - SUITE 205
 LIBERTYVILLE, IL 60048
 PHONE: (847) 367-6707
 FAX: (847) 367-2567
 E-MAIL ADDRESS: pba@pearsonbrown.com

NORTH

0 50' 100'
 SCALE: 1" = 100'

TITLE: AUTOTURN ANALYSIS
PROJECT: HAWTHORN PLACE COMMERCIAL
 HAWTHORN WOODS, IL

EXHIBIT **A**
 PROJECT NO.: 1909 DATE: 05/14/19

RECEIVED JUL 11 2019



Jarmel Kizel

ARCHITECTS AND ENGINEERS INC.
42 OAKER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL. 973-994-9669
FAX. 973-994-4069

www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
1	04-11-18	PLANNING SUBMISSION	MBJ
2	04-16-18	PHOTOMETRICS	MBJ
3	05-10-18	PLANNING RESUBMISSION	MBJ

REVISION

NO.	DATE	DESCRIPTION	INT.
01	01/4/18	PLANNING REVIEW	MBJ

PRINCIPALS

MATTHEW B. JARMEL, AIA, MBA P. 01-00101	NY 1C 40-12701	NY 1C 40-12701
DAVID L. LEECH, SA P. 01-00102	NY 1C 40-12701	NY 1C 40-12701
MICHAEL A. VITALE, PE P. 01-00103	NY 1C 40-12701	NY 1C 40-12701
ROBERT P. GRABOWSKI, PE P. 01-00104	NY 1C 40-12701	NY 1C 40-12701
FRANCIS J. GIBSON, PE P. 01-00105	NY 1C 40-12701	NY 1C 40-12701
JAYMONA L. EMMETT, SA, PE P. 01-00106	NY 1C 40-12701	NY 1C 40-12701
SEYMOUR SCHWARTZ, AIA P. 01-00107	NY 1C 40-12701	NY 1C 40-12701

ASSOCIATES

DAVID L. LEECH, SA P. 01-00102	NY 1C 40-12701	NY 1C 40-12701
MICHAEL A. VITALE, PE P. 01-00103	NY 1C 40-12701	NY 1C 40-12701
ROBERT P. GRABOWSKI, PE P. 01-00104	NY 1C 40-12701	NY 1C 40-12701
FRANCIS J. GIBSON, PE P. 01-00105	NY 1C 40-12701	NY 1C 40-12701
JAYMONA L. EMMETT, SA, PE P. 01-00106	NY 1C 40-12701	NY 1C 40-12701
SEYMOUR SCHWARTZ, AIA P. 01-00107	NY 1C 40-12701	NY 1C 40-12701

NY State Board of Architects, Engineers, Planners & Land Surveyors, License No. 246200000000

PROJECT
KIDDIE ACADEMY
HAWTHORN WOODS, IL

Project Number: **KAIL10-343** Scale: **AS NOTED**

Drawn By: **IF** Approved By: **MBJ**

Drawing Name:

RENDERING

Drawing Number: **SD-1.4**

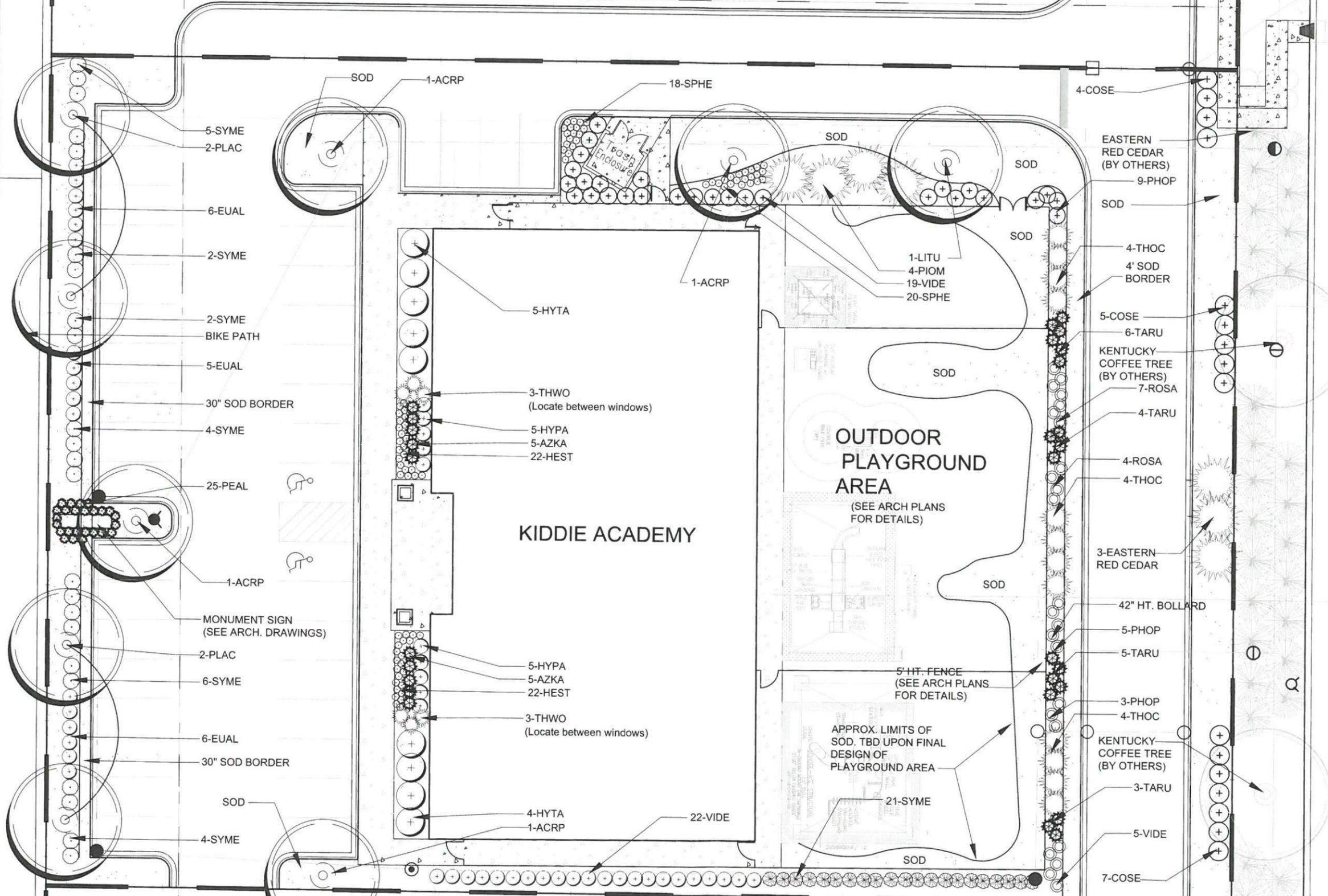
Project Date: **04/11/18**

H:\DRAWINGS\MIDDLE ACADEMY\ILLINOIS\KAIL10-343 - KIDDIE ACADEMY HAWTHORN WOODS ILLINOIS\KAIL10-343 - PLAN & ELEVATIONS.DWG - JARCAIDE - PLOTTED: 06/19/2019

LANDSCAPE PLAN
KIDDIE ACADEMY
 HAWTHORN PLACE COMMERCIAL
 105 ROMAN LANE
 HAWTHORN WOODS, ILLINOIS

ISSUED FOR:	DATE:
REV. VILLAGE SUBMITTAL:	3-15-19
VILLAGE SUBMITTAL:	3-28-19
PRINCIPAL:	
PROJECT NUMBER:	DESIGNED BY:
21902.1	LD
SCALE:	REVIEWED BY:
AS NOTED	LD
DATE:	PROJECT MANAGER:
3-20-19	LD
SHEET NUMBER:	
LP-1	

1 KIDDIE ACADEMY LANDSCAPE PLAN
 Scale: 1"=10'





1527LED OMEGA SERIES

LED

EPA
.93 (ft²)
WEIGHT
38 LBS

7 YEAR
WARRANTY

LUMEN
RANGE
5,580 to
17,190

LIFE SPAN
L70
MINIMUM
100,000
HOURS

UL
LISTED

CLICK
FOR FAQ'S

RATED
IP65

JOB NAME _____

FIXTURE TYPE _____

MEMO _____

BUILD A PART NUMBER

ORDERING EXAMPLE: **2A-1527LED-F-24L40T3-MDL018-SV1-HSHS/CA4/5214P5/RCC/UBKT**

Mounting Config.	Fixture	Shade Edge	LED	CCT	Distribution Type	Driver	Lens	Optional Control Receptacle	Optional Control	Option Fuse	Option Hangstraight	Option Term. Block	Option House Side Shield	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish

Mounting Configuration

(Click here to link to mounting configuration specification page)

- 1W
- 1A
- 2A
- 2A90
- 3A
- 3A90
- 4A
- 1AM
- 2AM
- SH44¹
- CH44¹
- CAT

W = Wall Mount A = Arm Mount AM = Arm Mid-Mount
SH = Stem Hung CH = Chain Hung CAT = Catenary

¹Include overall drop length in inches after designation for Stem/Chain application (IE: CH44-48")

Fixture

- 1527LED
- 1527LEDSM

Shade Edge

- R (Round Edge)
- F (Flared Edge)

LED

- 32L
- 24L
- 12L

CCT - Color Temperature (K)

- 27(00)
- 30(00)
- 40(00)
- 50(00)

Distribution Type

- T2
- T3
- T4
- T5

Driver

- MDL018 (120V-277V, 180mA)
- MDH018 (347V-480V, 180mA)
- MDL014² (120V-277V, 140mA)
- MDH014² (347V-480V, 140mA)

² 32L or 24L system only

Lens

- FG (Flat Glass)
- SG (Sag Glass)
- FSG (Frosted Sag Glass)
- SV1 (Flat Soft Vue Light Diffused Acrylic)
- SV2 (Flat Soft Vue Moderate Diffused Acrylic)
- SV4 (Flat Soft Vue Maximum Diffused Acrylic)

Options (Click here to view accessories sheet)

- R³ Pin control receptacle only
- R5³ 5-Pin control receptacle only
- R7³ 7-Pin control receptacle only
- PE⁴ Twist-Lock Photocontrol (120v-277v)
- PE3⁴ Twist-Lock Photocontrol (347v)
- PE4⁴ Twist-Lock Photocontrol (480v)

- SC⁴ Shorting Cap
- PEC Electronic Button Photocontrol (120v-277v)
- PEC4 Electronic Button Photocontrol (480v)
- FHD⁵ Double Fuse and Holder
- HSHS⁶ Standard Horizontal Hangstraight, Spire Finial
- HSHN⁶ Standard Horizontal Hangstraight, No Finial
- HSHB⁶ Standard Horizontal Hangstraight, Ball Finial
- HSCB⁶ Clamp Style Horizontal Hangstraight, Ball Finial
- HSCS⁶ Clamp Style Horizontal Hangstraight, Spire Finial
- HSCN⁶ Clamp Style Horizontal Hangstraight, No Finial
- EZ⁶ Vertical Hangstraight, Large, "EZ" Mount
- HSV⁶ Vertical Hangstraight, Standard
- TB Terminal Block
- HSS 120° House Side Shield
- BLOC Back Light Optical Control

³ Only available with HSH, HSC, 6 SM.
⁴ Requires control receptacle.
⁵ Ships loose for installation in base.
⁶ Not for use with 1527LEDSM.

Arm (Click here to link to arm specification page)

See Arms & Wall Brackets specification sheets.

- CA
- CSA
- DAG
- R2⁷
- FFA
- R3⁷
- CAS
- RA

⁷ Luminaires above grade height to be 2' higher than pole height, REQUIRES "EZ" hangstraight.

Pole (Click here to link to pole specification page)

See Pole specification sheets.

Finish

Standard Urban Finishes (Click here to view paint finish sheet)

- UGMT Gun Metal Textured
- UGM Gun Metal Matte
- UBT Urban Bronze Textured
- UB Urban Bronze Matte
- ULBT Urban Light Bronze Textured
- ULB Urban Light Bronze Matte
- USLT Urban Silver Textured
- USL Urban Silver Matte
- UWHT Urban White Textured
- UWH Urban White Matte
- UCHS Urban Champagne Satin Smooth
- BKT Black Textured

Custom Urban Finishes⁸

- CM Custom Match

⁸ Smooth finishes are available upon request.

Specifications

Fixture

The 1527LED Omega series is medium scale, decorative downlight fixture with a spun aluminum bell styled dome. The dome is available with two types of shades: round edge (R) and flared edge (F) styles. The luminaire measures 27" outside diameter and 19" overall height. The luminaire has a hinged door for tool-less driver and LED access. The luminaire is U.L. listed in U.S. and Canada.

LEDs

The luminaire shall use high output, high brightness LED's. They shall be mounted in arrays, on printed circuit boards designed to maximize heat transfer to the heat sink surface. The arrays shall be roof mounted to minimize up-light. The LED's and printed circuit boards shall be 100% recyclable; they shall also be protected from moisture and corrosion by a conformal coating. They shall not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. The LED life rating data shall be determined in accordance with IESNA LM-80. The High Performance white LED's will have a life expectancy of approximately 100,000 hours with not less than 70% of original brightness (lumen maintenance), rated at 25°C. The High Brightness, High Output LED's shall be 4000K (2700K, 3000K or 5000K option) color temperature with a minimum CRI of 70. Consult factory for custom color CCT. The luminaire shall have a minimum _____ (see table) delivered initial lumen rating when operated at steady state with an average ambient temperature of 25°C (77°F).

Optics

The luminaire shall be provided with refractor type optics applied to each LED array. The luminaire shall provide Type ____ (2, 3, 4 or 5)

See next page



SternbergLighting

ESTABLISHED 1923 / EMPLOYEE OWNED

800-621-3376
555 Lawrence Ave., Roselle, IL 60172
info@sternberglighting.com
www.sternberglighting.com

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RECEIVED MAY 13 2019

1527LED OMEGA SERIES



light distribution per the IESNA classifications. Testing shall be done in accordance with IESNA LM-79.

BLOC Optic: An optional "Back Light Optical Control" shield can be provided at the factory. This is an internal optic level "House Side Shield" offering significantly reduced backlight and glare while maintaining the original design aesthetics of the luminaire.

Electronic Drivers

The LED driver shall be U.L. Recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload, overheat and short circuit protection, and have a DC voltage output, constant current design, 50/60HZ. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be a high efficiency driver with a THD less than 20% and a high power factor greater than .9. It shall be dimming capable using a 0-10v signal, consult factory for more information.

Photocontrols

Button Style: The photocontrol shall be mounted on the fixture and pre-wired to driver. The electronic button type photocontrol is instant on with a 5-10 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. Photocontrol is 120-277 volt and warranted for 6 years. This option removes the current IP rating. See pole spec sheet for pole mounted version.

Twist-Lock Style: The photocontrol shall be mounted externally on the fixture (1527LEDSM), or mounted on the hang-straight, and pre-wired to driver. The twist lock type photocontrol is instant on with a 3-6 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. Photocontrol is 120-277 volt and warranted for 6 years.

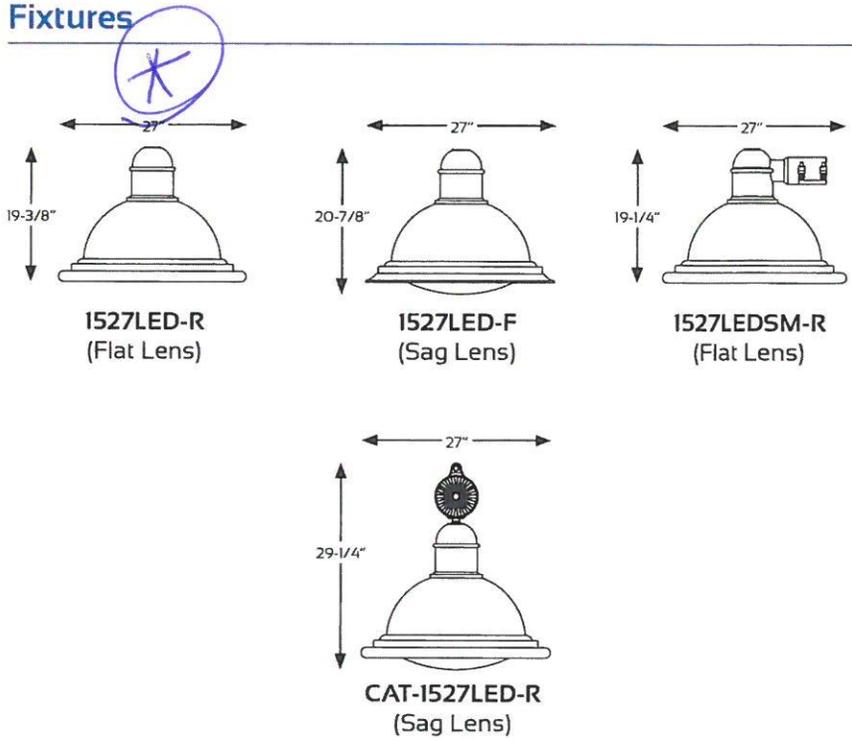
Warranty

Seven-year limited warranty. See product and finish warranty guide for details.

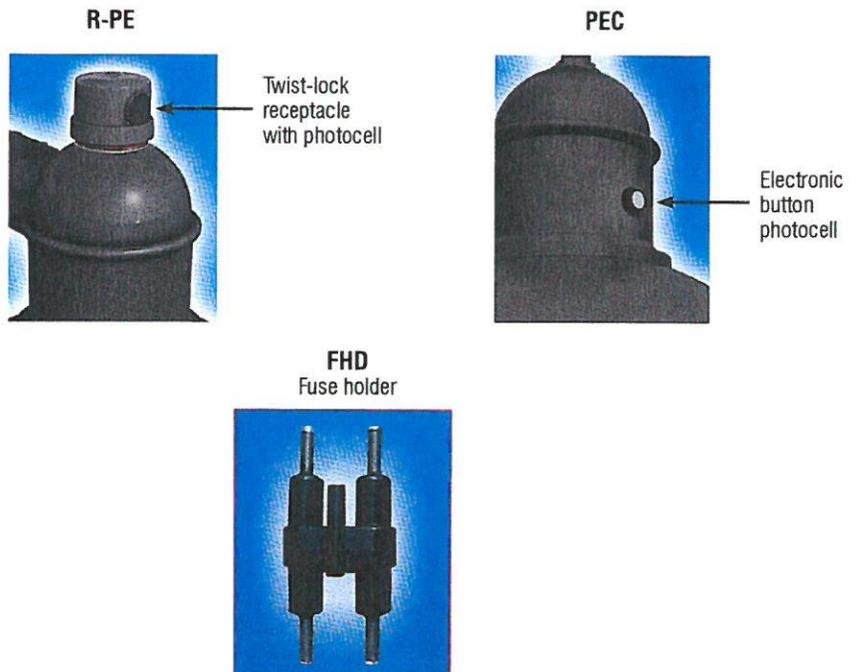
Finish

Refer to website for details.

Fixtures



Options



1527LED OMEGA SERIES

LED

Performance (Based on FG Lens)

MODEL #	T2 DELIVERED LUMENS	EFFICACY (LPW)	T3 DELIVERED LUMENS	EFFICACY (LPW)	T4 DELIVERED LUMENS	EFFICACY (LPW)	T5 DELIVERED LUMENS	EFFICACY (LPW)	WATTS
32L40T_-MDL018	16970	107.4	17190	108.8	15925	100.8	17085	108.1	158
32L30T_-MDL018	16180	102.4	16390	103.7	15185	96.1	16290	103.1	158
32L27T_-MDL018	14630	92.6	14820	93.8	13730	86.9	14730	93.2	158
32L40T_-MDL014	13400	111.7	13590	113.3	12655	105.5	13590	113.3	120
32L30T_-MDL014	12775	106.5	12955	108.0	12065	100.5	12955	108.0	120
32L27T_-MDL014	11550	96.3	11715	97.6	10910	90.9	11715	97.6	120
24L40T_-MDL018	12955	108.0	13180	109.8	12000	100.0	12990	108.3	120
24L30T_-MDL018	12350	102.9	12565	104.7	11440	95.3	12385	103.2	120
24L27T_-MDL018	11170	93.1	11360	94.7	10345	86.2	11200	93.3	120
24L40T_-MDL014	9955	110.6	10050	111.7	9435	104.8	10075	111.9	90
24L30T_-MDL014	9490	105.4	9580	106.4	8995	99.9	9605	106.7	90
24L27T_-MDL014	8580	95.3	8665	96.3	8135	90.4	8685	96.5	90
12L40T_-MDL018	6555	107.5	6475	106.1	6125	100.4	6350	104.1	61
12L30T_-MDL018	6250	102.5	6175	101.2	5840	95.7	6055	99.3	61
12L27T_-MDL018	5650	92.6	5580	91.5	5280	86.6	5475	89.8	61

JOB _____ TYPE _____
 NOTES _____ APPROVALS _____

FEATURES

- Unique swivel mount provides superior aiming without loosening over time
- Available in die-cast aluminum with powder coat finish for excellent value and rugged service
- Available in 3000K, 4000K and 5000K standard CCT
- Spot, Narrow Flood and Wide Flood distributions

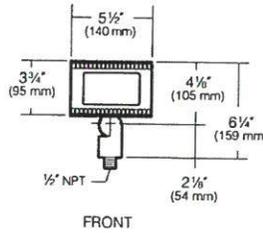
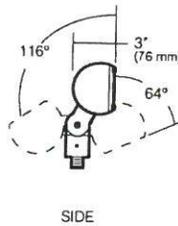
Certifications



SPECIFICATIONS



Approx. Weight = 3.16 lbs.



ORDERING CODE

EL218						
Fixture¹	Distribution	Drive Current	Electrical Module			Fixture Options
S Spot F Narrow Flood W Wide Flood	3 350mA, 10W 5 550mA, 16W	Source 8L 8 LEDs	Color Temperature 3K 3000K 4K 4200K 5K 5100K	UV 120 to 277V with a ±10% tolerance	Barn Doors BD215BL Black BD215DB Dark Bronze BD215GR Verde Green Fixed Hood FH215BL Black FH215DB Dark Bronze FH215GR Verde Green	

Control Options	Mounting Options
DIM 0-10V Dimmable driver. Available in 350 or 55mA. IP710 recommended dimmer.	Refer to 120 Volt Mounting Options Spec Sheet http://cdn.kimlighting.com/content/products/specs/specs_files/kl_120vmounting_spec.pdf for individual mounting options.

¹ U.S. PATENT D298,656

Kim Lighting reserves the right to change specifications without notice.

LUMINAIRE PERFORMANCE

Spectroradiometric			
	3000K	4200K	5100K
Correlated Color Temp. CCT (K)	2800 to 3175K	3800 to 4600K	4600 to 5600K
Color Rendering Index (CRI)	≥72	≥72	≥72
Power Factor	>.90 @ 120V	>.90 @ 120V	>.90 @ 120V

Electrical Drive Current					
350mA			550mA		
Volts -AC	Amps - AC	System Watts	Volts -AC	Amps - AC	System Watts
120	0.08	10	120	0.13	16
208	0.05	10	208	0.08	16
240	0.04	10	240	0.07	16
277	0.04	10	277	0.06	16

Absolute Lumens				
Temp.	mA	Spot	Narrow Flood	Wide Flood
3000K	350	1078	938	889
4200K		1143	992	925
5100K		1152	1008	953
3000K	550	1608	1411	1331
4200K		1691	1487	1386
5100K		1703	1511	1422

Main Beam Candela and Beam Angle							
Temp.	mA	Spot (3 x 3)	Beam°	Narrow Flood (4 x 4)	Beam°	Wide Flood (6 x 6)	Beam°
3000K	350	7865	19°	2722	32°	665	53°
4200K		8742	18°	2962	31°	694	52°
5100K		8578	18°	2656	30°	709	53°
3000K	550	11962	19°	4024	32°	1009	53°
4200K		13129	18°	4408	31°	1050	52°
5100K		12974	18°	4655	32°	1066	52°

LED performance and lumen output continues to improve at a rapid pace. Log onto www.kimlighting.com to download the most current photometric files from Kim Lighting's IES File Library. For custom optics and color temperature configurations, contact factory.

Projected Lumen Maintenance		
TM21-11*	100,000 hrs	Calulated (L70)
.96	.95	927,000 hrs

* 60,000 hrs, 350mA, Ts 57°C / 25°C ambient.

Kim Lighting reserves the right to change specifications without notice.

SPECIFICATIONS

Housing and Lens Frame:

- Die-cast low copper alloy (<0.6% Cu) aluminum.

Swivel:

- Die-cast aluminum with locking teeth and 1/2" solid brass NPT mount. Provides horizontal rotation independent of the threaded mount. Swivel locked by 1/4-20 stainless set screw. Clear anodized prior to powder coating for added corrosion resistance.

Gasketing:

- Silicone gaskets throughout.

Fasteners:

- Stainless steel.

Wiring:

- No. 18AWM rated 105°C.

Optical System:

- High performance acrylic optic securely attached to internal heat sink for maximum thermal dissipation.

Driver:

- Universal Voltage from 120 to 277V with a ±10% tolerance. -40oF. starting temperature. All drivers are Underwriters Laboratories recognized. Optional dimmable driver available.

Finish:

- Each luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) polyester powdercoat finish. Standard colors include (BL) Black, (DB) Dark Bronze, (GR) Verde Green.

Certifications and Listings:

- UL 1598 Standard for Luminaires.
- UL 8750 Standard for Safety for Light Emitting Diode (LED) Equipment for use in Lighting Products.
- IP66 certified.
- CSA C22.2#250.0 Luminaires.
- RoHS compliant.

CAUTION:

- Fixtures must be grounded in accordance with national, state and/or local electrical codes, Failure to do so may result in serious personal injury.

WARRANTY:

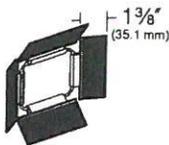
- For full warranty see <http://www.hubbellighting.com/resources/warranty>

OPTIONS

Barn Doors

BD215

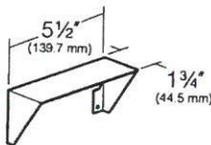
Extruded aluminum, fully adjustable. Provides beam and glare control. Available in Black, Dark Bronze or Verde Green finish.



Fixed Hood

FH215

Formed .062" thick aluminum. Provides glare control. Available in Black, Dark Bronze or Verde Green finish.



Kim Lighting reserves the right to change specifications without notice.



1910LEDLB / LBL LAKE BLUFF SERIES

LED

EPA
0.74 (ft²)
WEIGHT
17 LBS

7 YEAR WARRANTY

LUMEN RANGE
1890 to
7015

LIFE SPAN
L70
MINIMUM
100,000
HOURS

UL LISTED

CLICK FOR FAQ'S

JOB NAME

FIXTURE TYPE

MEMO

BUILD A PART NUMBER

ORDERING EXAMPLE: 2A-1910LEDLB-5P-4AIR45T5-MDH03-A-PEC-FHD-EZ/R2/3912T4/BIK

Mounting Config.	Fixture	Fitter	LED	CCT	Type	Driver	Lens	Option Control Receptacle	Option Control	Option Fuse	Option Hang-straight	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish

Mounting Configuration

(Click here to link to mounting configuration specification page)

- 1W • 2A90 • 4A • CH44¹
- 1A • 3A • 1AM • SH44¹
- 2A • 3A90 • 2AM

W = Wall Mount A = Arm Mount AM = Arm Mid-Mount
SH = Stern Hung CH = Chain Hung

¹Include overall drop length in inches after designation for Stern/Chain application (IE: CH44-48").

Fixture

- 1910LEDLB • 1910LEDLBL

Fitter

- 5P

LED

- 4AIR • 3AIR • 4ARC • 3ARC • 1RND

CCT - Color Temperature (K)

- 45(00) • 35(00) • 27(00)

Type

- T5

Driver

- MDL03 (120V-277V, 350mA)
- MDH03 (347V-480V, 350mA)

Lens

- A (Acrylic) • P (Polycarbonate)

Options (Click here to view accessories sheet)

- R² 3-Pin control receptacle only
- R⁵ 5-Pin control receptacle only
- R⁷ 7-Pin control receptacle only
- PE Twist-Lock Photocontrol (120v-277v)
- RE³ Twist-Lock Photocontrol (347v)
- PE4³ Twist-Lock Photocontrol (480v)
- SC³ Shorting Cap
- PEC Electronic Button Photocontrol (120v-277v)
- PEC4 Electronic Button Photocontrol (480v)
- FHD⁴ Double Fuse and Holder

- HSHS Standard horizontal hangstraight, spike finial
- HSHN Standard horizontal hangstraight, no finial
- HSHB Standard horizontal hangstraight, ball finial
- EZ Vertical hangstraight, large, "EZ" mount
- HSV Vertical hangstraight, standard

²For use with HSHL hangstraight only.
³Requires control receptacle.
⁴Ships loose for installation in base.

Arm (Click here to link to arm specification page)

See Arms & Wall Brackets specification sheets.

- 478 • 6236U • R3⁵ • CCA • RA
- TA • CDVH • CSA • CAF • DA
- TASU • 9IW • CA • CBA • DAG
- 678 • RPM • CAS • RSA
- 55LD • R2⁵ • SMA • FFA

⁵Luminaires above grade height to be 2" higher than pole height, REQUIRES "EZ" hangstraight.

Pole (Click here to link to pole specification page)

See Pole specification sheets.

Finish

Standard Finishes⁶

- BIK Black Textured
- WHT White Textured
- PGT Park Green Textured
- ABZT Architectural Medium Bronze Textured
- DBT Dark Bronze Textured

⁶Smooth finishes are available upon request.

Custom Finishes⁷

- CM Custom Match
- OI Old Iron
- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

⁷Custom colors require upcharge.

Sternberg Select Finishes

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured

Specifications

Fixture

The 1910LEDLB/LBL Lake Bluff luminaire is a decorative down light fixture which consists of a decorative cast aluminum fitter, a spun aluminum shade and lens. It shall have LED light sources with down lighting optics. The Luminaire shall be UL listed in the US and Canada.

Fitter - Standard

The fitter shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an 9-1/4" inside diameter opening to attach to the 9" neck of the shade. The large end of the fitter shall have four (4) stainless steel allen head screws which secures the connection between the fitter and shade.

LED's

The luminaire shall use high output, high brightness LED's. They shall be mounted in arrays, on printed circuit boards designed to maximize heat transfer to the heat sink surface. The arrays shall be roof mounted to minimize up-light. The LED's and printed circuit boards shall be 100% recyclable; they shall also be protected from moisture and corrosion by a conformal coating of 1 to 3 mils. They shall not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. The LED life rating data shall be determined in accordance with IESNA LM-80. The High Performance white LED's will have a life expectancy of approximately 100,000 hours with not less than 70% of original brightness (lumen maintenance), rated at 25°C. The High Brightness, High Output LED's shall be 4500K (3500K or 2700K option) color temperature with a minimum CRI of 70. Consult factory for custom color CCT. The luminaire shall have a minimum _____ (see table) delivered initial lumen rating when operated at steady state with an average ambient temperature of 25°C (77°F).

See next page

1910LEDLB / LBL LAKE BLUFF SERIES



<p>Optics The luminaire shall be provided with individual acrylic, refractor type optics applied to each LED. The luminaire shall provide Type 5 light distribution per the IESNA classifications. Testing will be done in accordance with IESNA LM-79.</p>	<p>Lens Materials include DR Acrylic or Polycarbonate. An injection molding process adds textured surface for glare mitigation, even wall thickness and impact resistance.</p>	<p>Warranty Seven-year limited warranty. See product and finish warranty guide for details.</p>
<p>Electronic Driver The LED driver shall be U.L. Recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload, overheat and short circuit protection, and have a DC voltage output, constant current design, 50/60HZ. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be a high efficiency driver with a THD less than 20% and a high power factor greater than .9. It shall be dimming capable using a 0-10v signal, consult factory for more information.</p>	<p>Photocontrols Button Style: The photocontrol shall be mounted on the fixture and pre-wired to driver. The electronic button type photocontrol is instant on with a 5-10 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. Photocontrol is 120-277 volt and warranted for 6 years. See pole spec sheet for pole mounted version. Twist-Lock Style: The photocontrol shall be mounted on the hang-straight and pre-wired to driver. The twist lock type photocontrol is instant on with a 3-6 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. Photocontrol is 120-277 volt and warranted for 6 years.</p>	<p>Finish Refer to website for details.</p>

Performance - LB Series

MODEL #	TS DELIVERED LUMENS	EFFICACY (LPW)	WATTAGE
4A1R27	6150	66.8	92
4A1R35	7015	76.3	92
4A1R45	7885	85.7	92
3A1R27	5175	67.2	77
3A1R35	5905	76.7	77
3A1R45	6635	86.2	77
4ARC27	4195	65.5	64
4ARC35	4785	74.8	64
4ARC45	5375	84.0	64
3ARC27	3215	61.8	52
3ARC35	3670	70.6	52
3ARC45	4120	79.2	52
1RND27	2140	66.9	32
1RND35	2440	76.3	32
1RND45	2740	85.6	32

Performance - LBL Series

MODEL #	TS DELIVERED LUMENS	EFFICACY (LPW)	WATTAGE
4A1R27	5465	59.4	92
4A1R35	6235	67.8	92
4A1R45	7005	76.1	92
3A1R27	4585	59.5	77
3A1R35	5230	67.9	77
3A1R45	5875	76.3	77
4ARC27	3740	58.4	64
4ARC35	4270	66.7	64
4ARC45	4795	74.9	64
3ARC27	2860	55.0	52
3ARC35	3265	62.8	52
3ARC45	3670	70.6	52
1RND27	1890	59.1	32
1RND35	2155	67.3	32
1RND45	2420	75.6	32



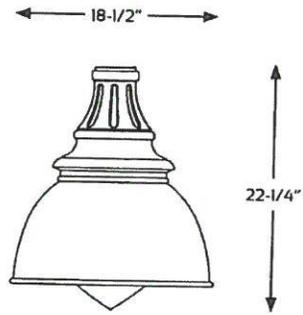
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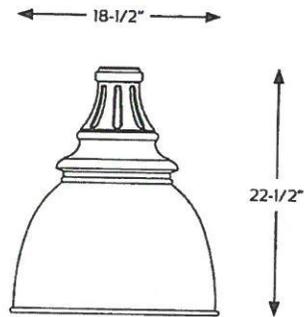
1910LEDLB / LBL LAKE BLUFF SERIES

LED

Fixture Examples



1910LEDLB-5P



1910LEDLBL-5P

Columns

enter search keywords

HOME SUPPORT PARTNERS CONTACT ABOUT

CONTEMPORARY HISTORICAL TRANSITIONAL BOLLARDS ARMS, POLES, & FITTERS

Home ARM



91WPM Bracket scales 37 3/4" tall x 24 7/8" wide.

Available mounting styles:
91WPM
91WWB

Downloads

Product Information

- Traditional Coatings
- Urban Color Coatings
- Concrete Pole Colors
- Lenses
- Hangstraights
- Post Caps
- Site Amenities
- Utility Filters
- Roto-Lock Photocell
- LED Conversion Kits
- Turtle Friendly
- SoftVue Technology
- Timberwood Poles
- Stonebridge

Learning Center

- Online Flipbook
- Quick View Catalog
- 14 Reason to Choose Sternberg
- Literature Downloads
- FAQ's
- Photometric Standard
- LED Terminology
- LED Trouble Shooting Guide
- Ballasts Trouble Shooting Guide
- Wind Load
- Buy America ARRA
- IES Classifications
- Recipe for Success

Related Items



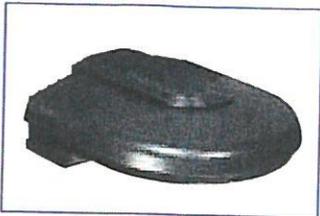
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Have a project, need assistance? +



SOLANA® SL270

The Solana® SL270 Wall Mount Sconce is the perfect innovative solution to the myriad of lighting challenges when choosing wall mount sconces. The Solana's modern architectural design, durability and optical efficiency, makes this an obvious choice for perimeter lighting.



PROJECT: _____
 TYPE: _____

ORDERING EXAMPLE: 1W-SL270-CA-36L45T3-MDL03-PEC-MOT1-FHD-CB-EM / UWHT

SL270													
MOUNTING CONFIG.	SERIES	LENS	NO. OF LEDES	COLOR TEMP K	DISTR. TYPE	DRIVER	CONTROLS	MOTION SENSOR	DUAL FUSE & HOLDER	CONDUIT BOX	EMERGENCY	COLOR	
1W	Wall Mount Sconce	CA	36L ¹	27(00) K	T2	MDL03	OPTIONS					UGMT	UGM
		FG	44L	35(00) K	T3	MDL05	PEC	MOT1 ¹	FHD	CB	EM	UBT	UB
		FFG	52L	45(00) K	T3R	MDH03	PEC4	MOT2 ¹				ULBT	ULB
		SV1*	¹ Not available in 05 driver		T4	MDH05						USLT	USL
		SV2**			T5						UWHT	UWH	
												UCHS	BKT

W = Wall Mount

Product Specs

Optical

- BUG rating of U-0.
- IP65 rated optic module.
- Available in IES Type 2, 3, 3R, 4 and 5 distribution.
- Utilizes high output, high brightness LEDs.
- Typical CRI of 70, CCT 2700, 3500, and 4500. Call factory for custom CCT.
- LM-79 and LM-80 tests in accordance with IESNA standards.
- Lumen depreciation rating L70 > 100,000 hrs. projected per TM-21 guideline using 525mA drive at 25°C ambient.
- RoHS Compliant.

Electrical

- 120-277 volt and 347-480 volt available.
- Minimum drivers power factor: >0.9.
- Electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines.
- UL listed in U.S. and Canada

Mechanical

- All cast aluminum housing.
- Tool-less driver access and removeable driver tray.
- AAD™ "Advanced Air-flow Dynamics" maximizes heat sink expulsion.

Controls

- Supplied with a dimmable driver.
- Optional electronic button photocell PEC (120-277V), PEC4 (480v).

Finish

- Durable, color retentive powder coat finish.

Warranty & Standards

LED Systems and Drivers - 7 years.
 All fixtures shall be free from all defects in materials and workmanship for a period of 7 years from the date of manufacture. The luminaire manufacturer shall warrant the LED boards/system, during the stated warranty period, against failure defined as more than 10 percent of non-operating LEDs.

Motion Sensors:

- MOT1¹: 360° lens, maximum coverage 40' diameter from 20' height
- MOT2¹: 360° lens, maximum coverage 70' diameter from 20' height

¹Note: Requires acrylic lens

Drivers:

- MDL03: 350mA, 120-277V
- MDL05: 525mA, 120-277V
- MDH03: 350mA, 347-480V
- MDH05: 525mA, 347-480V

Lens:

- CA - Clear Flat Acrylic
- FG - Clear Flat Glass
- FFG - Frosted Flat Glass

Soft Vue:

SV1* - Flat Soft Vue Medium Diffuse Acrylic
 SV2** - Flat Soft Vue Heavy Diffuse Acrylic
 *Provides moderate reduction in Brightness while only a minimal reduction in lumen output. **Provides maximum reduction in Brightness while only a nominal reduction in lumen output. Consult photometric files for exact lumen performance as percentages noted are averages.

Colors:

- UGMT - Urban Gun Metal Textured
- UBT - Urban Bronze Textured
- ULBT - Urban Light Bronze Textured
- USLT - Urban Silver Textured
- UWHT - Urban White Textured
- BKT - Black Textured
- UCHS - Urban Champagne Satin Smooth
- UGM - Urban Gun Metal Matte
- UB - Urban Bronze Matte
- ULB - Urban Light Bronze Matte
- USL - Urban Silver Matte
- UWH - Urban White Matte

EPA: 0.4 Square Ft
 Weight: 30 LBS

Performance (Based on FG Lens)

MODEL #	T2 DELIVERED LUMENS	EFFICACY (LPW)	T3 DELIVERED LUMENS	EFFICACY (LPW)	T3R DELIVERED LUMENS	EFFICACY (LPW)	T4 DELIVERED LUMENS	EFFICACY (LPW)	T5 DELIVERED LUMENS	EFFICACY (LPW)	WATTAGE
52L27T_-MD_05	6205	68.2	5925	65.1	6055	66.5	5995	65.9	5900	64.8	91
52L35T_-MD_05	7073	77.7	6755	74.2	6900	75.8	6830	75.1	6720	73.9	91
52L45T_-MD_05	7540	81.4	7200	78.3	7355	80.1	7285	79.5	7165	78.2	91
44L27T_-MD_05	5260	67.4	5005	64.2	5130	65.8	5080	65.1	4965	63.7	78
44L35T_-MD_05	5994	76.8	5705	73.1	5844	74.9	5790	74.2	5660	72.6	78
44L45T_-MD_05	6390	80.6	6080	77.4	6230	79.2	6170	78.8	6035	77.0	78
52L27T_-MD_03	4550	74.6	4370	71.6	4475	73.4	4425	72.5	4340	71.1	61
52L35T_-MD_03	5180	85.0	4985	81.7	5100	83.6	5045	82.7	4950	81.1	61
52L45T_-MD_03	5525	91.0	5310	87.4	5435	89.6	5375	88.7	5275	87.2	61
44L27T_-MD_03	3855	74.1	3685	70.9	3780	72.7	3760	72.3	3640	70.0	52
44L35T_-MD_03	4390	84.5	4201	80.8	4305	82.8	4285	82.4	4150	79.8	52
44L45T_-MD_03	4680	90.6	4480	86.8	4590	89.0	4570	88.6	4425	86.1	52
36L27T_-MD_03	3190	74.2	3080	71.6	3130	72.8	3125	72.7	3115	72.4	43
36L35T_-MD_03	3635	84.5	3515	81.7	3565	82.9	3560	82.7	3550	82.6	43
36L45T_-MD_03	3875	90.8	3740	88.0	3800	89.3	3795	89.0	3785	89.0	43



Project:

Type:

Prepared By:

Date:

Driver Info

LED Info

Type	Constant Current	Watts	13W
120V	0.3A	Color Temp	4000K (Neutral)
208V	0.3A	Color Accuracy	87 CRI
240V	0.3A	L70 Lifespan	100,000
277V	0.15A	Lumens	388
Input Watts	15.2W	Efficacy	25.5 LPW

13 & 26 Watt Angled Cone Shade LED Gooseneck Luminaire designed to match the architecture of Main Street storefronts and building perimeters. LED Gooseneck Cone Shade with 24" Goose Arm Style 1.

Color: Black

Weight: 13.2 lbs

Technical Specifications

Listings

JL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

ESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

LED:

Single multi-chip, 13W high-output, long-life LED

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) products, ANSI C78.377-2017.

Construction

Fixture:

The GN1LED13NRACB comes with the GOOSE1B Arm

Housing:

Precision die-cast aluminum housing, lens frame and mounting plate

Gaskets:

High-temperature Silicone

Mounting:

Heavy-duty mounting arm with "O" ring seal and stainless steel screw

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in 40°C (104°F)

Shades:

15" Angled Cone Shade offered

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Electrical

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz, 100-240VAC 0.3 - 0.15A, 277VAC 0.15A, THD ≤20%, PF 97.5%.

Surge Protection:

4kV

THD:

14.8% at 480V

Other

Patents:

The design of the Gooseneck is protected by patents pending in US, Canada, China and Taiwan

Warranty:

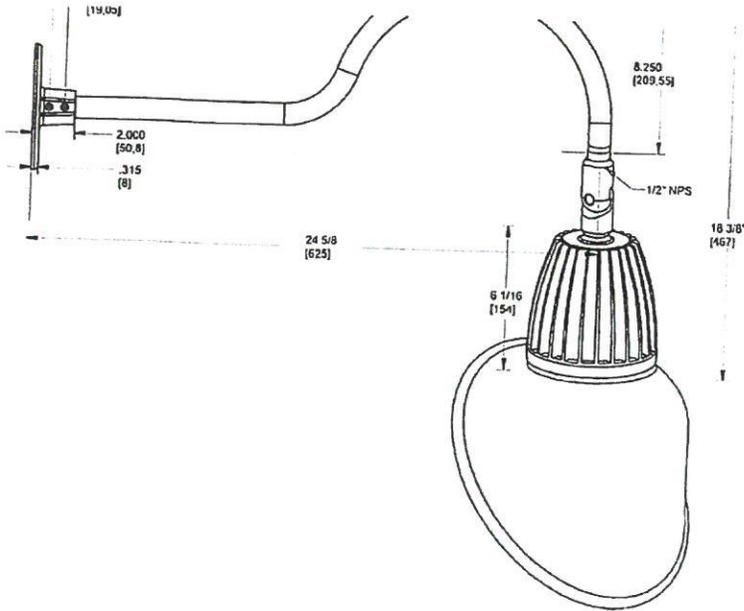
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at

Equivalency:

Equivalent to 75W Incandescent, 50W Metal Halide or 18W CFL

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.



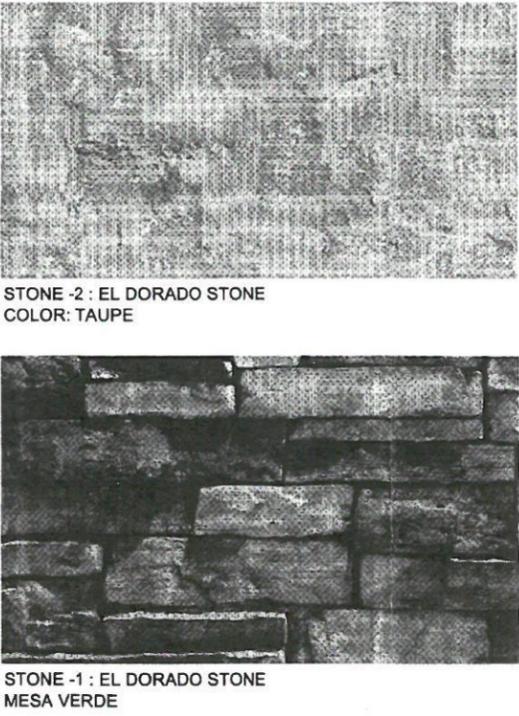
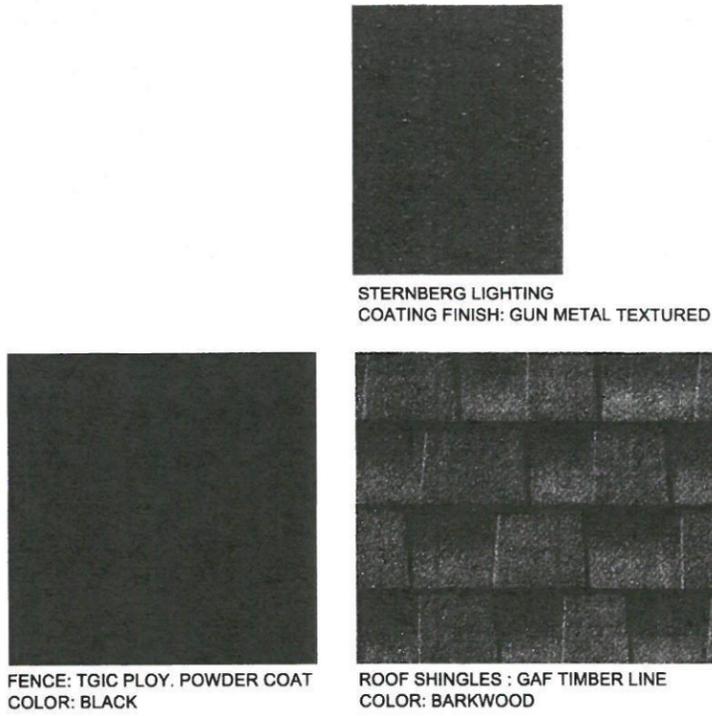
Superior heat sink

Die-cast aluminum housing

5-Year, No-Compromise Warranty

Ordering Matrix

Family	Wattage	Color Temp	Reflector	Shade	ShadeSize	Finish
GN1LED	13	N	R	AC		B
	13 = 13W 26 = 26W	Y = 3000K (Warm) N = 4000K (Neutral)	Blank = Flood R = Rectangular S = Spot	AC = Angled Cone	11 = 11" Blank = 15"	B = Black W = White A = Bronze S = Silver G = Hunter Green YL = Yellow LB = Light Blue BL = Royal Blue BWN = Brown I = Ivory R = Red



1 MATERIAL SAMPLE
SCALE: NTS

EXTERIOR MATERIAL SCHEDULE			
NAME	MANUFACTURER	SIZE / TYPE	COLOR / FINISH
STUCCO-1	DRYVIT	SANDPEBBLE FINISH	COLOR #113 AMARILLO WHITE
STUCCO-2	DRYVIT	SANDPEBBLE FINISH	COLOR #456 OYSTER SHELL
STONE-1	EL DORADO STONE	MOUNTAIN LEDGE	COLOR MESA VERDE
STONE-2	EL DORADO STONE	CHISELED EDGE WATER TABLE	COLOR TAUPE
STONE FRONT-1	KAWNEER	PER DOOR SCHEDULE	COLOR WHITE
EXIT DOOR-1		PER DOOR SCHEDULE	COLOR WHITE
EXIT DOOR-2		PER DOOR SCHEDULE	COLOR WHITE
TRIM-1	AZEK	WINDOW TRIM	COLOR ARTIC WHITE
TRIM-2	AZEK	DOOR TRIM	COLOR ARTIC WHITE
WINDOW	SIMONTON	PER WINDOW SCHEDULE	COLOR WHITE
ROOF SHINGLES	GAF - TIMBERLINE	ULTRA HD SHINGLES	BARKWOOD 30 YEAR WARRANTY



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RICHARD A. JARMEL, PE NJ: 001401401-03 PA: 001401401-03 VA: 001401401-03 WV: 001401401-03 DC: 001401401-03 MD: 001401401-03 DE: 001401401-03 NC: 001401401-03 SC: 001401401-03 GA: 001401401-03 FL: 001401401-03 LA: 001401401-03 TX: 001401401-03 OK: 001401401-03 KS: 001401401-03 NE: 001401401-03 IA: 001401401-03 MO: 001401401-03 AR: 001401401-03 MS: 001401401-03 AL: 001401401-03 TN: 001401401-03 KY: 001401401-03 OH: 001401401-03 IN: 001401401-03 MI: 001401401-03 WI: 001401401-03 IL: 001401401-03	
ASSOCIATES	
DONALD A. BROCKENBUSH, PE NJ: 001401401-03 PA: 001401401-03 VA: 001401401-03 WV: 001401401-03 DC: 001401401-03 MD: 001401401-03 DE: 001401401-03 NC: 001401401-03 SC: 001401401-03 GA: 001401401-03 FL: 001401401-03 LA: 001401401-03 TX: 001401401-03 OK: 001401401-03 KS: 001401401-03 NE: 001401401-03 IA: 001401401-03 MO: 001401401-03 AR: 001401401-03 MS: 001401401-03 AL: 001401401-03 TN: 001401401-03 KY: 001401401-03 OH: 001401401-03 IN: 001401401-03 MI: 001401401-03 WI: 001401401-03 IL: 001401401-03	
DAVID L. LESBETH, SA NJ: 001401401-03 PA: 001401401-03 VA: 001401401-03 WV: 001401401-03 DC: 001401401-03 MD: 001401401-03 DE: 001401401-03 NC: 001401401-03 SC: 001401401-03 GA: 001401401-03 FL: 001401401-03 LA: 001401401-03 TX: 001401401-03 OK: 001401401-03 KS: 001401401-03 NE: 001401401-03 IA: 001401401-03 MO: 001401401-03 AR: 001401401-03 MS: 001401401-03 AL: 001401401-03 TN: 001401401-03 KY: 001401401-03 OH: 001401401-03 IN: 001401401-03 MI: 001401401-03 WI: 001401401-03 IL: 001401401-03	
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Project: **KIDDIE ACADEMY**
HAWTHORN WOODS, IL 60047
Project Number: **KAIL18-343** Scale: **AS NOTED**
Drawn By: **JA** Approved By: **MBJ**

MATERIAL/ COLOR BOARD

Drawing Number: **SD-1.6**
Initial Date: **04/11/19**





CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

July 11, 2019

Village of Hawthorn Woods
2 Lagoon Drive
Hawthorn Woods, IL 60047

Attention: Donna Lobalto, Chief Administrative Officer

Subject: Kiddie Academy
Lot 40, Hawthorn Trails Phase 3
Third Review
(CBBEL Project No. 02-65H249)

Dear Donna:

Per your request Christopher B. Burke Engineering, Ltd. (CBBEL) has completed its review of the following documents:

- Site Photometrics Plan and Specifications prepared by Sternberg Lighting revised June 14, 2019.
- Comment Response Letter from Jarmel Kizel dated June 14, 2019.

We offer the following comments:

Conceptual Engineering Plan

1. We defer our comments on the alignment and ownership/maintenance of the proposed water main extension to Aqua Illinois.
2. We defer our comments on the proposed sanitary sewer service to Lake County.

Photometrics Plan

1. When submitting an electrical plan for permit, please provide appropriate measures for lighting controls and curfew regulations in accordance with Village of Hawthorn Woods Chapter 19 Outdoor Lighting Ordinance.
2. Response to comments 9-11 refer to documents attached, including a response from Sternberg and various manufacturer's catalog cuts. None of these documents were received to review.

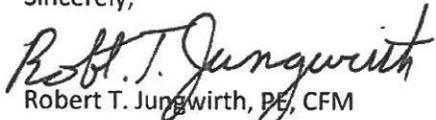
3. Provide the Kim Lighting Micro-Flood EL218 (3000K) lighting distribution, as 9-12-3 of Village of Hawthorn Woods Ordinance states a maximum inclination of 45 degrees and maximum light output of 1,000 lumens for up lighting of ground-mounted, non-internally illuminated signs.
4. Revise the Photometric Plan as necessary. The submitted minimum value and maximum/minimum ratio do not meet IESNA RP-8-18, Table 17-2 Recommended Maintained Illuminance Values for Parking Lots. The recommended minimum value is 0.5 footcandles and maximum/minimum ratio is 15:1 per IESNA RP-8-18, Table 17-2.
5. Provide a calculation in accordance with 9-19-4 of Village of Hawthorn Woods Ordinance. This calculation allows 2-1/2 lumens per square foot of hardscape.

General Comments

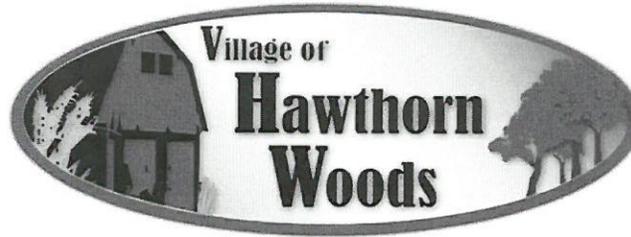
1. The applicant shall provide geometric, grading, utility, soil erosion and sediment control plans, specifications and details and all other related information for both the proposed development and the entire commercial access road following the adoption of the Certificate of Approval ordinance by the Village Board.
2. The approved final engineering plans for Hawthorn Trails Phase 3 include the note "The future plans for the improvements of the individual commercial lots shall include measures to address hydrocarbon removal as required by the Watershed Development Ordinance." This requirement is found in Section 504.04 of the WDO. The applicant is proposing a water quality system within a manhole. This should be included in a maintenance plan for the site with maintenance tasks per the manufacturer's recommend guidelines.
3. Provide an Engineer's Opinion of Probable Cost for the site/civil improvements.

If you have any questions or comments, please do not hesitate to contact me.

Sincerely,


Robert T. Jungwirth, PE, CFM
Senior Civil Engineer

Cc: Pam Newton, Village of Hawthorn Woods (Via Email)
Erika Frable, Village of Hawthorn Woods (Via Email)
Darren Olson, CBBEL
Lee Fell, CBBEL



2 LAGOON DRIVE - HAWTHORN WOODS, ILLINOIS 60047 - (847) 438-5500 FAX 847-438-1459

TO: Donna Lobaito, RMC; Chief Administrative Officer
FROM: Erika M. Frable, P.E.; Director of Public Works/Village Engineer
SUBJECT: Kiddie Academy
DATE: June 3 2019

An office review was conducted of the Site Plan and Conceptual Engineering Plan, both dated May 14, 2019 and prepared by Pearson, Brown & Associates and the Floor Plan, dated May 10, 2019, prepared by Jarmel Kizel and Landscape Plan, dated May 15, 2019, prepared by Allen L. Kracower, prepared for Kiddie Academy. The review was conducted to determine compliance with Village Codes and standards and good engineering practices.

GENERAL COMMENTS

1. We assume that the rest of the commercial drive will be constructed at the same time or prior to the Kiddie Academy access drive and parking lot. **Comment has been addressed.**
2. Aqua Illinois has specific requirements for the distance of the watermain to buildings and structures. It doesn't appear that requirement will be met with the proposed layout of watermain on north side of building, however, the Village defers to Aqua Illinois to provide comment in that regard. **Response noted.**
3. The size of the utilities is not noted on the plans for proposed watermain extension and storm sewer. **Comment has been addressed.**
4. As this is a daycare facility, a fence is proposed around area in the back of the facility with three separate fenced in areas. **Response noted.**
5. The access drive on the north of the building will serve as access to the building that is built on Lot 39. **Response noted.**
6. Please note the material that will be utilized for the Outdoor Playground Area and whether it will be impervious. **Comment has been addressed.**
7. Note who will construct the pedestrian access between the Hawthorn Trails Phase 3 residential neighborhood and the commercial property. **Response noted.**
8. The storm sewer on the south side of the building is proposed near the edge of the sidewalk and will be difficult to maintain in the future if it needs to be repaired.

However, the storm sewer will be private and not owned or maintained by the Village. **Response noted.**

9. Easements may be needed for the proposed watermain extension. **Response noted.**
10. It appears that bushes are proposed in the location of the pedestrian access between Hawthorn Trails Phase 3 and the commercial property. **Comment has been addressed.**
11. It appears that there are several different things proposed within the 8.5 feet between the east fence line of the play area and the access drive. These include the watermain extension, landscaping and safety bollards spaced every five feet. Confirm there is enough room for all of these items to fit in this space. Additionally, bollards will be painted OSHA yellow. **Comment has been addressed.**
12. It is noted on the Floor Plan that Toilet Facilities will be provided as required by Code. It doesn't appear that toilets are provided on the floor plan for the children at this time and this will need to be addressed. **Response noted.**

The developer and their consultants have the ultimate responsibility for the correct representation of existing field conditions as well as providing a design that complies with Village ordinances and standards.

A list of revisions made other than those indicated above should be included on subsequent submittals. Indicate a brief description of the revision and the sheet number the revision occurs on. Any revision made to the plans not identified in this manner, will not be accepted.

Additionally, subsequent transmittals should also acknowledge any revision made as a result of comments from other review authorities. A copy of those comments should be included with the revised submittal.



Hawthorn Woods Police Department

2 Lagoon Drive
Hawthorn Woods, IL 60047-9061

Phone: (847) 438-9050
Fax: (847) 438-5308

MEMORANDUM

DATE: June 5, 2019

TO: Donna Lobaito; Chief Administrative Officer

FROM: Police Chief J. Paulus

SUBJECT: Kiddie Academy – Lot 40 – HT3 Commercial

I have had the opportunity to review the Site Photometric Plan and Specifications, prepared by Sternberg Lighting, revised dated May 10, 2019 and the review comments from Rolf C. Campbell & Associates, page 5, dated May 31, 2019 and I have the following comments/concerns:

1. I do not have any security issues that would require an additional light pole on or near the playground area of the establishment. I would instead recommend motion sensor lighting placed on the rear of the building that would only illuminate the play area if it is occupied after dark.

Pride · Performance · Professionalism

Web Site: www.hwpd.com E-mail: police@hwpd.com



FIRE DEPARTMENT
Fire Prevention Bureau

1075 N. Old McHenry Road
Lake Zurich, Illinois 60047
Fire.bureau@lakezurich.org
(847) 540-5073
LakeZurich.org

At the Heart of Community

May 21, 2019

Donna Lobaito
Chief Administrative Officer
Village of Hawthorn Woods
2 Lagoon Drive
Hawthorn Woods, IL 60047

**RE: PR19-083 – LOT 40 – QUENTIN & RT. 22
KIDDIE ACADEMY – HAWTHORN TRAILS**

Dear Donna:

Thank you for the revised submittal. After reviewing, I have the following comments:

1. Please provide the proper address for the project.
2. Please have the underground contractor schedule a full-bore flush with my office and Aqua.
3. The drawings indicate only one fire hydrant. There needs to be one on the north and east elevation.

If you have any questions, please contact my office. The plans are approved at this time.

Sincerely,

Robert Kleinheinz
Fire Prevention Specialist
Lake Zurich Fire Department



One Overlook Point, Suite 290
Lincolnshire, Illinois 60069

PLANNING CONSULTANTS MEMORANDUM

Date: May 31, 2019
To: Donna Lobaito, Chief Administrative Officer
Village of Hawthorn Woods
From: Rolf Campbell Associates, Village Planning Consultants
Re: **Updated Review Memo Based on Revised Submissions:
Kiddie Academy – Commercial Lot 40
In the Hawthorn Trails Development
NE Quadrant Quintin Road & IL. Rt. 22**

Introduction: Pursuant to your request, we have reviewed the revised submittal documents (summarized at the end) and offer the following comments at this time.

As noted in our previous Review Memo dated May 6, 2019 in addition to the revised submittal documents received from the Village, we also reviewed Village “Ordinance No. 1704-16” that granted the Special Use - PUD for Hawthorn Trails Phase 3 – NE Corner of the intersection of IL. Route 22 and Quentin Road where the subject Commercial Lot 40 is located. We also reviewed Village “Resolution No. 07-01-10-1” that approved the Annexation Agreement for the approximately 72 acres located generally at the Northeast corner of the intersection of Quentin Road and Illinois Rt. 22 that included the area where the four (4) commercial lots are located. “Ordinance No. 1704-16” provides for the 4 Commercial Lots 38 – 41 to be in the Village’s “B Retail Business/Commercial District. “Resolution No. 07-01-10-1” for the Annexation Agreement includes a number of Exhibits addressing various aspects of the Annexation Agreement including Exhibit C. for “Additional Uses Permitted as a Matter of Right in the B Retail Business/Commercial District” and Exhibit D. “Site and Structure Requirements for Uses Developed in the B Retail/Commercial District” and Exhibit E. that addresses “Sign Standards.” As part of our reviews, we also reviewed select aspects of the submissions in relationship to the Village “Retail B Business/Commercial District” and provisions of the Village Sign regulations that were not addressed in the Annexation Agreement.

Based on our updated review it appears that the two matters that were previously noted that may need to be addressed have been appropriately addressed as follows. The first matter of the interior side yard setback from the south lot line of Lot 40 has been revised to meet the minimum of 12 feet as noted in the May 15, 2019 response letter by Pearson, Brown & Associates and as labeled on the revised Site Plan dated 05/14/19. The second matter of the proposed setback for the monument sign adjacent to Quentin Road has also been revised to meet the minimum setback of 7 feet as noted in the May 15, 2019 response letter by Pearson, Brown & Associates and as labeled on the revised Site Plan dated 05/14/19.

As noted in our previous Review Memo of May 6th there were also some details that needed to be further clarified and some of these details have been addressed and some may still need further clarification as noted in the following summary.

Proposed Use: As we noted in our previous Review Memo the proposed use appears to fall under the category of a “Daycare center and nursery school” that is listed as a Special Use in the Village’s “B Retail/Business/Commercial District. However, Exhibit C. of the Annexation Agreement provides for “Additional Uses Permitted as a Matter of Right in the B Retail Business/Commercial District” and the list of “Additional Uses Permitted as a Matter of Right - - -” includes “Day care centers – adult and child, including outdoor recreation equipment. All centers must meet state licensing requirements.”

We did not see any follow up information from the applicants regarding the status of obtaining a state license for a child care use and this matter will need to be clarified before receiving any final approvals.

Site Plan prepared by Pearson, Brown & Associates, dated May 14, 2019

As we noted in our previous Review Memo the Site Plan included a “Site Data” Table that noted the “Maximum Impervious Coverage” but the “Proposed Impervious Coverage” was not noted in the “Site Data” Table, and we suggested that this information be added to the “Site Data” Table on the Site Plan. The revised Site Plan dated 05/14/19 now includes in the “Site Data” Table a “Proposed Impervious Coverage (not including playground)” of 32,585 s. f. and an “Impervious Allowance for Playground” of 3,313 s. f. Adding these areas together that total is 35, 898 square feet and with a “Total Property Area” of 51,285 square feet this calculates to a total percentage of impervious surface area of 69.99 percent which is just under the allowed “Maximum Impervious Coverage” of 70 percent. We also noted that in the May 15, 2019 response letter by Pearson, Brown & Associates on page 2 in a response to a question by Erika M. Frable, P.E. Director of Public Works/Village Engineer, it was noted that Outdoor Playground Area will be as follows:

“A combination of Turf, Grass, and impervious surface is proposed in the playground area. The playground design is subject to change, and the final design will be provided for review. The impervious surface will be limited to a maximum of 70% as allowed in the annexation agreement.”

Since the Village Director of Public Works/Village Engineer, Erika M. Frable, P.E. has also raised this question related to the allowed “Maximum Impervious Coverage” of 70 percent and the proposed maximum impervious surface area, we will look to her as to how this matter should be addressed at this time as well as how it may be addressed in the review of the “final design” for the playground that is noted as being “subject to change.”

The following Table is a summary of the B Retail Business/Commercial District - Zoning Standards & the previously approved Departures in comparison to the Proposed Conditions, and as indicated the proposed conditions as revised appear to be consistent with the allowed development standards.

Bulk & Dimensional Standards:

Category	B Retail Business/Commercial District Zoning Standards	Previously Approved Departures	Proposed Conditions
Minimum Lot Area Special Use	1 Acre	10,000 sq. ft.	51,284 sq. ft. (+/-1.18 acres)
Minimum Lot Width Special Use	200 ft.	50 ft.	190 ft.
Minimum Setbacks			
<i>Front Yard (West)</i>	250 ft.	30 ft.	+/-87 ft. west
<i>Interior Side Yard south /north</i>	250 ft.	12 ft.	12 ft./south & 38.5 north
<i>Rear Yard (east)</i>	250 ft.	12 ft.	108 ft. east
Minimum Landscape Setbacks			
<i>Landscape Yards</i>			
<i>West</i>	5 ft.		10 ft. west
<i>North</i>	5 ft.		Varies – 20 ft. north
<i>East</i>	5 ft.		9.5 ft. east
<i>South</i>	5 ft.		5 ft. south
Building Footprint Dimensions			140 ft. x 75 ft. 10,375 sq. ft +/-
Lot Coverage	30%	70%	? Not stated
Maximum F.A.R.	0.25		0.020
Maximum Height	35 feet/2.5 stories	35 ft.	29.5 ft.

Also shown on the Site Plan is a proposed “Monument Sign” along the Quentin road frontage. The proposed setback was not labeled on the Site Plan, but the sign setback appeared to scale at approximately 5 feet. The Village Sign Regulations provide for a minimum 5 foot setback, but also require an additional setback of 1 foot for each 10 square of sign face. Exhibit E. in the Annexation Agreement has provisions for sign setbacks that addresses “the location of all ground signs used for advertising during the development and marketing period shall be consistent with the set back requirements established in the sign ordinance.” Based on the information provided on Sheet SD-1.3 Details (that will be reviewed later in this memo) the proposed sign face for the monument sign is approximately 21 square feet so a setback of 7 feet may be required for this proposed monument sign. This sign setback has been revised to meet the minimum setback of 7 feet as noted in the May 15, 2019 response letter by Pearson, Brown & Associates and as labeled on the revised Site Plan dated 05/14/19.

Conceptual Engineering prepared by Pearson, Brown & Associates, dated May 14, 2019

Our office did not review this Engineering Plan other that for comparison to some of the other plan submissions that we did review, and it is our expectation that this Engineering Plan will be reviewed by the Village Engineer and the Village’s Engineering Consultants.

**Floor Plan prepared by Jarmel Kizel, dated May10, 2019 and the
Conceptual Elevations prepared by Jarmel Kizel, dated May10, 2019
Site Detail prepared by Jarmel Kizel, dated May10, 2019 and the
Site Rendering prepared by Jarmel Kizel, dated May 10, 2019**

The above submissions included several Sheets as follows: SD-1.1 “Floor Plan” SD-1.2 “Concept Elevations” SD-1.3 “Details” SD-1.4 “Rendering” and Sheet SD-1.5 “Photometric Plan”. The Sheet labeled SD-1.5 that was prepared by “Jarmel Kizel included a Site Photometric Plan that was prepared by “Sternberg Lighting.”

Based on our review of these various revised Sheets, we offer the following:

Sheet SD-1.1 “Floor Plan.” While we continue to have no specific comments on the interior building floor plan we do note that this revised Sheet now includes more detail for the play equipment in the 3 separate areas within the “Outdoor Playground Area” to the rear (east area) of the building.

Sheet SD-1.2 “Concept Elevations.” Included with this West Elevation is a wall sign that was indicated as being approximately 81.5 square feet on the initial submission dated 4-11-19; however, on the revised submission dated 5-10-19 the label for the wall sign no longer indicates 81.5 square feet but has a label that includes symbols that appears to be in error. We are attaching an illustrative exhibit to show the comparison between the labels for the wall sign area on the two different submissions – see attached. It appears that the size of the wall sign has remained the same on both Sheets SD-1.2, and only the label for the size of the wall sign may only be in error. The Village sign regulations allows wall signs to be up to 10 percent of the area of the building wall where the wall sign is located, and the proposed wall sign does not exceed the allowed wall sign area on the front of this building facing Quentin Road.

Sheet SD-1.3 “Details” This Sheet includes details for the wall and monument sign and the proposed decorative fence for the “Outdoor Playground Area” that is shown on Sheet SD-1.1 “Floor Plan.”

The dimensions for the wall sign on this Sheet SD-1.3 dated 5-10-19 are shown as being 20’4” by 4’0” that is consistent with the 81.3 square feet as indicated on Sheet SD-1.2 that was dated 4-11-19 and the error for the label for the size of the wall sign on Sheet SD-1.2 dated 5-10-19 is probably just a labeling error.

As previously noted the proposed setback for the ground sign has been revised from the previous 5 feet of setback to the required 7 feet of setback as noted in the May 15, 2019 response letter by Pearson, Brown & Associates and as labeled on the revised Site Plan dated 05/14/19.

The questions raised in our May 6, 2019 Review Memo regarding proposed lighting or illumination for the monument sign have now been addressed on Sheet SD-1.3 dated 5-10-19 and in the lighting detail sheets and in the May 15, 2019 response letter by Pearson, Brown & Associates. This information generally appears to be appropriate. The May 15, 2019 response letter by Pearson, Brown & Associates indicates that the “monument sign will be externally illuminated using two ground-mounted spotlights (one per sign face). Details 2 and 3 on sheet SD-1.3 have been updated to specify these lights.” In addition to the information provided on the Details 2 and 3 on sheet SD-1, there were also additional submissions provided as 8.5 by 11 inch pages that provided further details for these proposed lights. A total of three pages address these lights as being from KIM Lighting as “Micro-Flood -LED lights “EL218.” These pages indicate that these light fixtures include a “swivel mount” and that there are options for attachments to the fixture such as “Barn Doors.” This “swivel mount” design and the potential options should be able to address any on-sight adjustments that may be

needed if any issues arise for glare from these lights relate to the “Dark Skies standards” or glare that occurs for vehicles traveling along Quentin Road.

Sheet SD-1.4 “Rendering.” We do have some minor comments on the rendering of the front of the building, and while we do note that the rendering does “generally” appear to be consistent with the information contained on the other Sheets, there are 4 wall mounted lights that are shown on Sheet SD-1.5 Photometric Plan that are not shown on Sheet SD-1.4 “Rendering” and the 3 lights shown above the wall sign on Sheet SD-1.4 “Rendering” are not shown on Sheet SD-1.5 Photometric Plan.

Sheet SD-1.5 Labeled “Photometric Plan.” The foot-candle levels shown on this Photometrics Plan appear appropriate for the parking lot and access drive to the north and a mounting height for the lights in these areas is noted as being 20 feet. However, the revised submission includes an illustration for the light poles and light fixtures where illustration Number 7 “Pole Light Detail” shows a dimension for the height from the bottom of the light fixture to the ground as being “25’-0” Max.” This may be a minor inconsistency between the information on the Table for the “Luminaire Schedule” and the Illustration for the “Pole Light Detail;” however, it may be appropriate to have this inconsistency addressed. Information has not been provided regarding any outside lighting for the fenced-in area to the rear of the building; and while it’s noted in the May 15, 2019 response letter by Pearson, Brown & Associates that “Site lighting is not typically provided within the playground area of the facility, as it is not used after dark per the facility’s operational standards” we recommend that the Village determine if there are any Village concerns for security lighting of this area to possibly discouraging anyone from coming into this area after hours, and perhaps the Village Police Department may want to further comment on this matter.

Landscape Plan prepared by Allen Kracower & Associates, dated May 15, 2019

Landscaping is shown on the Sheet LP-1 over the Site Plan and Sheet LP-2 includes the Plant List and Planting Details.

Based on our review of the revised submittals we offer the following comments:

As mentioned in the previous landscape review comments dated 5-6-19, we requested that the Applicant confirm whether the plantings located in the +/- 16.5’ buffer east of the east property line, which includes 30 evergreen trees and 2 deciduous shade trees, will be installed with the proposed plantings for Lot 40 as indicated on the landscape plan, Sheet LP-1. The Applicant has noted in the May 15, 2019 response letter by Pearson, Brown & Associates that these plantings will be provided by others and is not included as part of this plan. However, even though these will be provided by others, we recommend that the Village attempt to get further clarification regarding the schedule for when these plantings may be installed as being before or at the time this commercial property is developed to assure appropriate screening for the adjacent residential buildings.

As noted in our previous landscape review comments dated 5-6-19, the landscape plan includes approximately 9,175 square feet of open space area, and it appears that the Applicant meets the requirements for open space landscaping provided on the landscape plan by providing at least 9.175 shade tree equivalents in open space landscaping locations.

As also noted in our previous landscape review comments dated 5-6-19 and our review of the revised landscape plan, it appears that there is a total area of approximately 17,070 square feet of impervious area and interior landscaped area for the main parking lot and for the area adjacent to the 4 parking spaces to the northwest corner of the building. Per the Village Zoning Ordinance, Section 9-17-6.F.1, ten percent (10%) of this area should be dedicated to internal parking lot landscaping areas, which would be approximately 1,707 square feet. The landscape plan appears to indicate approximately 2,870 square feet of landscaping area when the internal parking lot landscape areas and the landscape area adjacent to the 4 parking spaces located to the north of the building are combined, for a combined total of approximately seventeen (17%) which meets the Village landscaping standard.

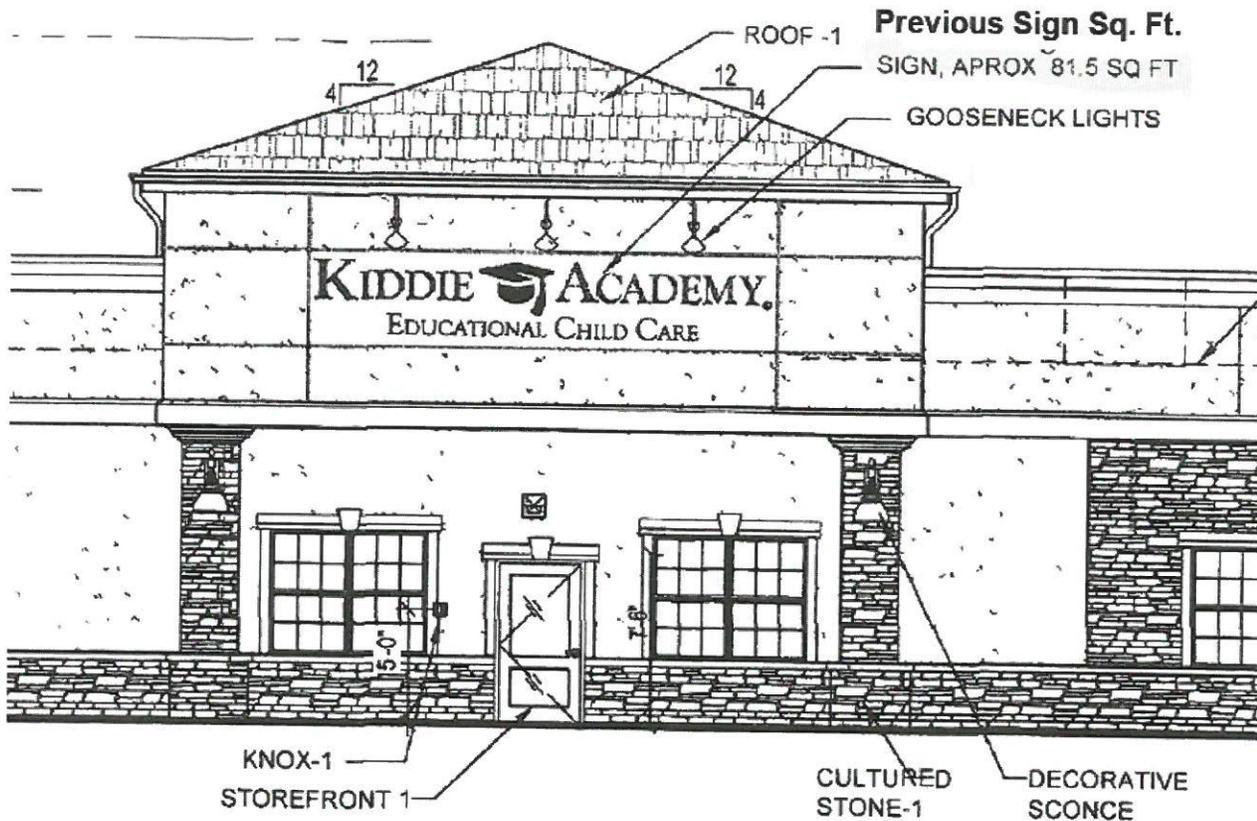
As also noted in our previous landscape review comments dated 5-6-19 at the far northeast corner of the property it appears that there were two proposed shrubs located on top of the pavement hatching. These two shrubs have been removed on the revised Landscape Plan.

Summary:

Note that this Memorandum includes only a summary of our finding from our review of the revised submittal that we received from the Village and we are available to review any questions related to this summary and our findings at your convenience.

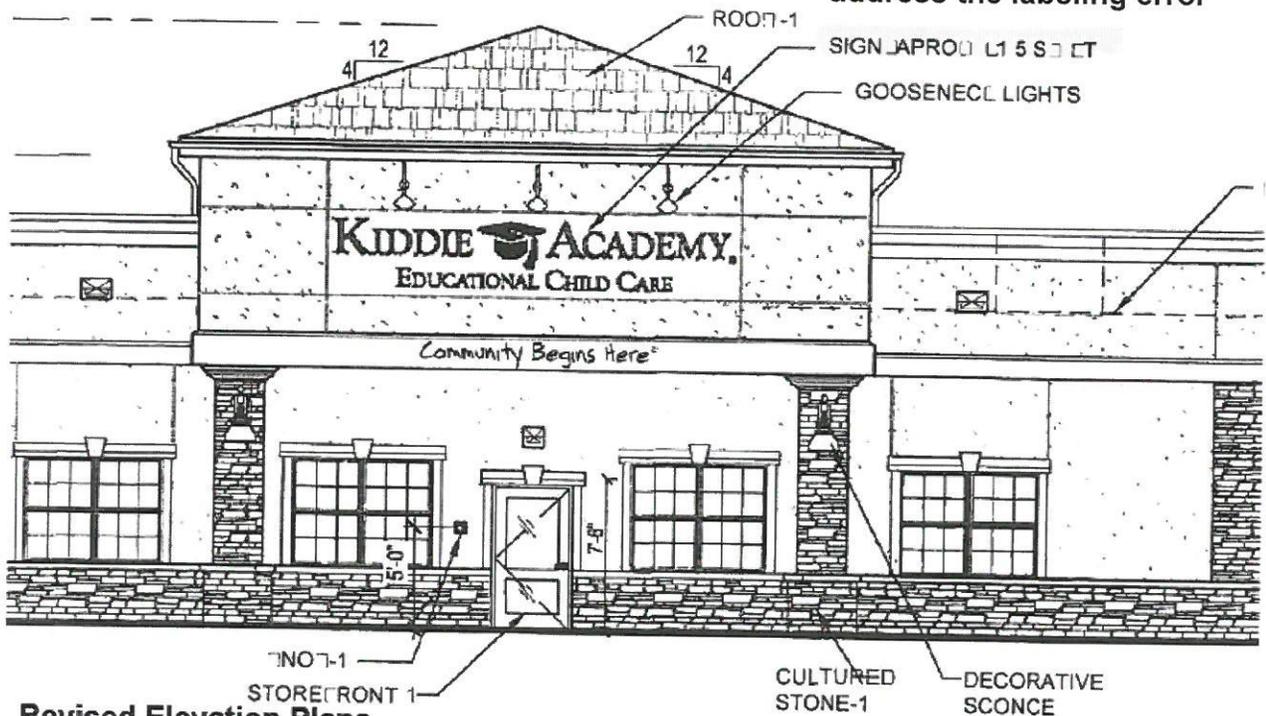
Reviewed Submittal Documents: (Based on the Transmittal Letter from the Village dated 5-16-19)

- Site Plan prepared by Pearson, Brown & Associates, dated May 14, 2019
- Conceptual Engineering prepared by Pearson, Brown & Associates, dated May 14, 2019
- Auto Turn Exhibit prepared by Pearson, Brown & Associates, dated May 14, 2019
- Floor Plan prepared by Jarmel Kizel, dated May 10, 2019
- Conceptual Elevations prepared by Jarmel Kizel, dated May 10, 2019
- Site Details prepared by Jarmel Kizel, dated May 10, 2019
- Site Rendering prepared by Jarmel Kizel, dated May 10, 2019
- Site Photometrics Plan & Specifications. dated May-10-19. (Note, The Sheet Labeled SD-1.5 indicates that this Sheet was prepared by Jarmel Kizel but this Sheet also includes a note that the “Photometrics Site Plan” was prepared by Sternberg Lighting & in addition to this Sheet there are also 13 pages at 8.5 by 11 inches with details relating to the Various light fixtures & types).
- Landscape Plan prepared by Allen Kracower & Associates dated May 15, 2019
- A response letter by Pearson, Brown & Associates dated May 15, 2019 was also included in the documents included with the Transmittal Letter from the Village dated 5-16-19.



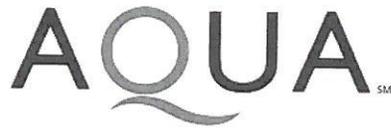
**Previous Elevation Plans
from plans dated 4-11-19**

The Applicant is requested to address the labeling error



**Revised Elevation Plans
dated 5-10-19**

**Exhibit prepared by: RCCA
Dated: 5-30-19**



May 17, 2019

Donna Lobaito
Chief Administrative Officer
Village of Hawthorn Woods
2 Lagoon Dr.
Hawthorn Woods, IL 60047

SUBJECT: Kiddie Academy – Lot 40 – HT3 Commercial
Review Comments

Dear Ms. Lobaito:

I have reviewed the Conceptual Engineering Plan for the reference project provided by you. I have the following concerns:

1. The proposed water main is only about 13' away from the building. Aqua requires a minimum of 20' between the water main and any structure.
2. The proposed water main is shown crossing under the Trash Enclosure. If the Trash Enclosure has a foundation, then the water main would need to be 20' away from it. If the Trash Enclosure is just a concrete pad or concrete curb, then the water main would need to be 5' away.
3. The plan shows a proposed fire hydrant located west of the proposed building. Aqua does not allow any private fire hydrants; therefore, the Developer would need to contact myself directly and go through the developer water main extension process with Aqua.
4. There is an existing fire hydrant east of the project property that is less than 400' from any part of the proposed building. If the existing hydrant is sufficient for fire suppression and the proposed hydrant is not needed, then the developer would just need a simple water service application, not the entire main extension process.

Please feel free to contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Stephen Palinski".

Stephen Palinski
Construction Coordinator
SJPalinski@AquaAmerica.com
815.614.2047



June 14, 2019

Village of Hawthorn Woods
Ms. Donna Lobaito – Chief Administrative Officer
2 Lagoon Drive
Hawthorn Woods, IL 60047

RE: Kiddie Academy
Northeast Corner of IL Rt 22 & Quentin Rd
Hawthorn Woods, Illinois
Jarmel Kizel Project Number: KAIL 18-343

Dear Ms. Lobaito

Jarmel Kizel Architects and Engineers, Inc. has received your comments from Rolf Campbell and Associates dated May 31, 2019 for the above-noted project and our responses are as follows:

Conceptual Engineering

1. The comment is posed as follows:
Sheet SD-1.2 "Concept Elevations." Included with this West Elevation is a wall sign that was indicated as being approximately 81.5 square feet on the initial submission dated 4-11-19; however, on the revised submission dated 5-10-19 the label for the wall sign no longer indicates 81.5 square feet but has a label that includes symbols that appears to be in error. ... the proposed wall sign does not exceed the allowed wall sign area on the front of this building facing Quentin Road.

Response:

The proposed west elevation wall sign has been reduced to 73.2 sqft, due to standard signage sizes and availability. Reduced signage square footage is still within the allowable wall sign area for front of building.

2. The question is posed as follows:
Sheet SD-1.4 "Rendering." ... rendering does "generally" appear to be consistent with the information contained on the other Sheets, there are 4 wall mounted lights that are shown on Sheet SD-1.5 Photometric Plan that are not shown on Sheet SD-1.4 "Rendering" and the 3 lights shown above the wall sign on Sheet SD-1.4 "Rendering" are not shown on Sheet SD-1.5 Photometric Plan

Response:

The exterior front rendering of the building has been revised to reflect the 4 wall mounted lights, specified in the photometric plan. The 3 wall mounted gooseneck lights are wall washer lights, we have opted to exclude them from the photometric as allowed in the photometric plan review comments from Christopher B. Burke Engineering.

ARCHITECTURE
ENGINEERING
SPACE PLANNING
INTERIOR DESIGN
IMPLEMENTATION SERVICES

PRINCIPALS
MARVIN JARMEL, IIDA
MATTHEW B. JARMEL, AIA, MBA
IRWIN H. KIZEL, AIA, PP
RICHARD A. JARMEL, PE

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AUTHORIZATION NUMBER
GA278177

42 Okner Parkway
Livingston, NJ 07039

TEL: (973) 994-9669
FAX: (973) 994-4069

www.jarmelkizel.com

3. The question is posed as follows:

Sheet SD-1.5 Labeled "Photometric Plan." The foot-candle levels shown on this Photometrics Plan appear appropriate for the parking lot and access drive to the north and a mounting height for the lights in these areas is noted as being 20 feet. ... minor inconsistency between the information on the Table for the "Luminaire Schedule" and the Illustration for the "Pole Light Detail;" Information has not been provided regarding any outside lighting for the fenced-in area to the rear of the building; and while it's noted in the May 15, 2019 response letter by Pearson, Brown & Associates that "Site lighting is not typically provided within the playground area of the facility, as it is not used after dark per the facility's operational standards" we recommend that the Village determine if there are any Village concerns for security lighting of this area to possibly discouraging anyone from coming into this area after hours, and perhaps the Village Police Department may want to further comment on this matter.

Response:

The mounting height for the light pole fixtures will be 20' as per the photometric plan, which is within the allowed mounting height (25' Max). All wall packs with emergency backup battery above doors will be on timers to provide site lighting after hours

We trust that our responses adequately address your comments posed. Please do not hesitate to contact our office with any questions or additional comments.

Sincerely,
Jarmel Kizel Architects and Engineers, Inc.





June 14, 2019

Village of Hawthorn Woods
Ms. Donna Lobaito – Chief Administrative Officer
2 Lagoon Drive
Hawthorn Woods, IL 60047

RE: Kiddie Academy
Northeast Corner of IL Rt 22 & Quentin Rd
Hawthorn Woods, Illinois
Jarmel Kizel Project Number: KAIL 18-343

Dear Ms. Lobaito.

Jarmel Kizel Architects and Engineers, Inc. has received your comments from Christopher B. Burke Engineering Review dated June 3, 2019 for the above-noted project and our responses are as follows:

Photometrics Plan

1. The question is posed as follows:
Verify that the location of all lighting units are not in conflict with any landscape elements.

Response:

Light pole location revised to avoid conflict with shade trees, refer to Photometric Plan SD-1.5

2. The question is posed as follows:
Verify with Sternberg the bolt circle and depth of the foundation on which the lighting unit is to be installed. As noted in the detail as shown on sheet SD-1.5. add HB to the end of the Sternberg pole's catalog number.

Response:

We are using the Sternberg Helix Foundation system, the "HB" was added to Sternberg catalog number. Sternberg's 7700 pole base uses 10" bolt circle, diamond pattern, with (4) 3/4" AB's. The depth of the foundation will be specified in the construction drawings.

3. The question is posed as follows:
Provide a site electrical plan for review that includes conduit, wire types and sizes, circuitry point of electric service and information on how the lighting controls meet Village of Hawthorn Woods Chapter 19 Outdoor Lighting Ordinance.

Response:

Electrical plan will be issued in our permit drawings submission.

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4. The question is posed as follows:
Various lighting units are shown on sheet SD—1.2 that are included form the Photometric Plan (sheet SD-1.5), including the lighting units located above each door and decorative sconces located on the main entrance (sign lighting may be excluded/).
Response:
Revised photometric plan includes the lights above each door and the decorative sconces, refer to photometric plan SD-1.5. As per your comment the gooseneck sign lights were not included in the photometric.

5. The question is posed as follows:
As shown on sheet SD-1.5. Pole Light Detail, there are various notes that annotate item to be optional, including a second luminaire, banner arms and 120V duplex GFIC receptacle. Revise detail to show lighting unit as it is to be furnished and installed.
Response:
Pole light detail has been revised, refer to SD1.5.

6. The question is as follows:
Provide photometric calculations for the outdoor playground area/
Response:
Exterior lighting is not provided in playground. Outdoor play ground will only be used only during the day time hours.

7. The question is posed as follows:
Various luminaires provided proceeded exceeds 3000K correlated color temperature (CCT). I accordance with 9/19/3E of Village of Hawthorn Woods Ordinance, no luminaires shall have a CCT that exceeds 3000K.
Response:
Refer to luminaire schedule, all fixtures specified are no greater than 3000K CCT.

8. The question is posed as follows:
The Photometric Plan (sheet SD-1.5) calculated values were not reviewed due to excluded lighting units and incorrect CCT of luminaires. Please note in accordance with 9-19-3A of Village pf Hawthorn Woods Ordinance, all outdoor lighting must not exceed minimum schedule levels specified by IES.
Response:
Acknowledged, please review revised photometric plan which include all lighting units, are no greater than 3000K CCT.

9. The question is posed as follows:

Provide calculations for the 0.95 light loss factor as shown on the sheet SD-1.5.

Response:

Please see response from Sternberg Lighting attached.

10. The question is posed as follows:

Provide exact manufacture model number for the monument sign flood light to be furnished and installed. The proposed lighting unit must be in ordinance with 9-12-3 of Village of Hawthorn Woods Ordinance.

Response:

The monument sign flood light is a Micro-Flood LED EI 218, 3000k from Kim Lighting. Refer to Monument sign side elevation on drawing SD1.3.

11. The question is posed as follows:

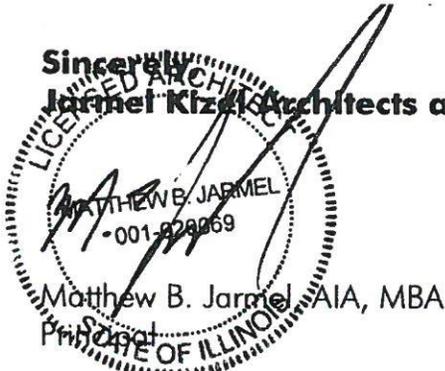
Revise gooseneck lighting units to have CCT not to exceed 3000K. The proposed lighting unit must be in ordinance with 9-12-3 of Village of Hawthorn Woods Ordinance.

Response:

Gooseneck lighting units for sign, will be a "RAB"GYLED13NAD11W, with a CCT no greater than 3000K. Cut sheets attached and highlighted.

We trust that our responses adequately address your comments posed. Please do not hesitate to contact our office with any questions or additional comments.

Sincerely,
Jarmel Kizel Architects and Engineers, Inc.



IL License #: 001.020069

Jasmine Alcaide

From: Derek Emeson <demeson@sternberglighting.com>
Sent: Friday, June 7, 2019 4:11 PM
To: Jasmine Alcaide
Subject: RE: Kiddie Academy - Hawthorn Woods, IL

Jasmine,

I typically use a .95 LLD for layouts using LED fixtures, and I think that is the correct factor to use based on the life of these units.
However, I will use whatever factor a client suggests as there is no hard answer or high level recommendations on LLF's for LED applications.

As a comparison, let's look at HID.
The recommended LLD's for MH is .72 and HPS is .81.
The life of those lamps are 15,000 hours and 24,000 hours respectfully.

MH lamps depreciate pretty quickly, and based on the recommended LLD (.72), you will get to about 72% of the initial output after about 40% of its life (based on its life curve) (15,000 x .6=9,000).
You will get to 9,000hrs (Running them 12hrs a day) in about 2 years.

HPS lamps depreciate a little better than MH, and based on the recommended LLD (.81), you will get to about 81% of the initial output after about 50% of its life (based on its life curve) (24,000 x .5=12,000).
You will get to 12,000hrs (Running them 12hrs a day) in about 2.7 years.

So, maintenance factors on a layout show you what you can expect for light levels after about 2-3 years.

Let's look at LED:
Our units are rated at L70@100,000hrs, meaning you may have an approximately 30% decrease in light after about 100,000hrs (and this is a conservative life based on high ambient temperatures and highest available wattages).

100,000hrs at 12hrs a day is over 20 years, so you can expect a 30% decrease, over 20 years.
So that's about 1.5% per year.
So after 2-3 years, you can only expect a 3%-5% loss in light levels.

Which is why I suggest a .95 LLD.
Using something like a .7 LLD on LED units would show you the expected light levels after about 20 years.

Please let me know if you have any questions or concerns.

Thanks,

Derek Emeson
Inside Sales Manager



SternbergLighting

ESTABLISHED 1923 / EMPLOYEE OWNED

800-621-3376 X225

Direct: 847-230-3425

Cell: 630-635-5833

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From: Jasmine Alcaide [mailto:jalcaide@jkarch.com]
Sent: Friday, June 07, 2019 2:30 PM
To: Derek Emeson <demeson@sternberglighting.com>
Subject: RE: Kiddie Academy - Hawthorn Woods, IL

Derek,
So sorry for all the emails!
Last question.. Can you provide calculations for the .95 light loss factor?

Jasmine Alcaide

Jarmel Kizel Architects and Engineers, Inc.
42 Okner Parkway
Livingston , NJ 07039
973-994-9669 Ext. 136





13 & 26 Watt Dome Shade LED Gooseneck Luminaire designed to match the architecture of Main Street storefronts and building perimeters. LED Gooseneck Dome Shade with 24" Goose Arm Style 1.

Color: White

Weight: 11.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.3A
208V	0.3A
240V	0.3A
277V	0.15A
Input Watts	15.4W

LED Info

Watts	13W
Color Temp	3000K (Warm)
Color Accuracy	86 CRI
L70 Lifespan	100,000
Lumens	589
Efficacy	38.2 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

LED:

Single multi-chip, 13W high-output, long-life LED

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

Fixture:

The GN1LED13NAD11W comes with the GOOSE1W arm

Housing:

Precision die-cast aluminum housing, lens frame and mounting plate

Gaskets:

High-temperature Silicone

Mounting:

Heavy-duty mounting arm with "O" ring seal and stainless steel screw

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Shades:

11" Angled Dome Shade offered

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Electrical

Surge Protection:

4kV

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz, 100-240VAC 0.3 - 0.15A, 277VAC 0.15A, THD ≤20%, PF 97.5%.

Other

Patents:

The design of the Gooseneck is protected by patents pending in US, Canada, China and Taiwan

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com/legal#warranty

Equivalency:

Equivalent to 75W Incandescent, 50W Metal Halide or 18W CFL

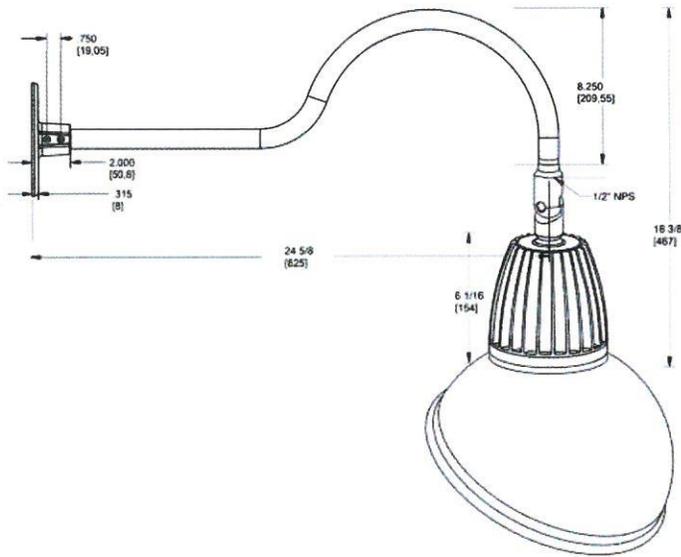
Technical Specifications (continued)

Other

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Adjustable 45° swivel joint
- Superior heat sink
- Die-cast aluminum housing
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Wattage	Color Temp	Reflector	Shade	ShadeSize	Finish
GN1LED	13	Y		AD	11	W
	13 = 13W 26 = 26W	Y = 3000K (Warm) N = 4000K (Neutral)	Blank = Flood R = Rectangular S = Spot	AD = Angled Dome	11 = 11" Blank = 15"	A = Bronze S = Silver G = Hunter Green YL = Yellow LB = Light Blue BL = Royal Blue BWN = Brown I = Ivory R = Red B = Black W = White